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Overview

- The Structural Peer Review Program is designed to expedite the permit process by reducing the time and effort required for conventional structural plan examination by DOB personnel.
- Under the Department's standard plan review permitting process, use of Structural Peer Review is voluntary.
- Use of Structural Peer Review is required for some types of work under the Self-Certification Permit Program.

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Overview (continued)

- The permit applicant may select any Registered Structural Peer Reviewer (RSPR) to prepare a Structural Peer Reviewer's Report, so long as the RSPR has sufficient experience with the type of work to be reviewed.
- The permit applicant is responsible for the entire cost of using Structural Peer Review.
- The use of Structural Peer Review instead of conventional structural plan review does not affect the building permit fee or inspection process.

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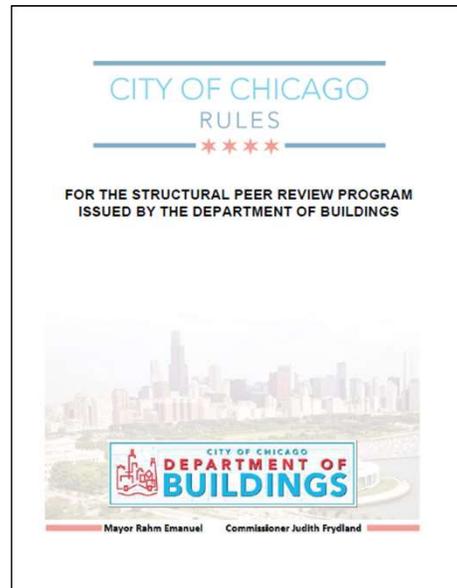
Benefits

- Code compliance is verified by an independent professional
- Permit process is streamlined by eliminating need for structural review by DOB staff
- Greater control over timing to obtain permit
- Standard of care established by rule

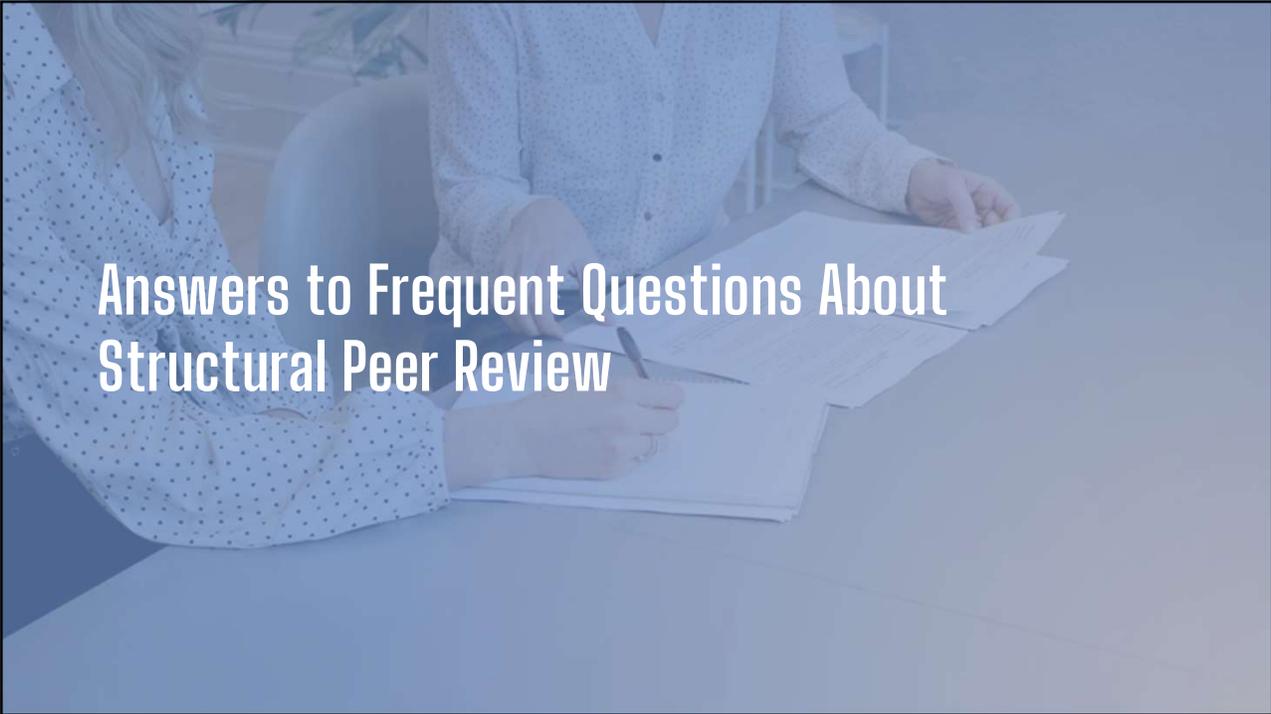
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Rules

- Structural Peer Review Program Rules are available on DOB's website (eff. 1/1/2018).
- Rules are scheduled for update in 2022.



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Answers to Frequent Questions About Structural Peer Review

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What types of projects are eligible to use Structural Peer Review?

- All building/project types are eligible to use the Structural Peer Review Program.
- Structural Peer Review may be used with the Standard Plan Review or Self-Certification Permit Processes.

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What types of projects are required to use Structural Peer Review?

- Use of Structural Peer Review is required for some types of work under the Self-Certification Program.
- See Self-Certification Rule C(2) and Table C-2 (2020).



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TABLE C-2 (2020): STRUCTURAL PEER REVIEW REQUIREMENTS

Use or Occupancy Classification of Finished Building	Scope of Work	
	New Construction & Additions	Repairs, Renovations & Alterations
All buildings	<ul style="list-style-type: none"> - work includes adding balcony to existing building - work includes construction within 1 foot of property line - work includes excavation ≥ 10 feet below grade 	Structural scope of work includes: <ul style="list-style-type: none"> - adding, altering, or removing load-bearing elements - adding, altering, or removing floor openings - use of earth retention system
Exclusively residential use	<ul style="list-style-type: none"> - scope of work exceeds 3 stories above grade plane - scope of work includes occupiable rooftop above third story above grade plane 	<ul style="list-style-type: none"> - structural scope of work in building greater than 3 stories above grade plane
Any non-residential use	<ul style="list-style-type: none"> - scope of work exceeds 1 story above grade plane - scope of work includes occupiable rooftop above second story above grade plane - work includes excavation ≥ 5 feet below grade within 5 feet of an existing building 	<ul style="list-style-type: none"> - structural scope of work in building greater than 1 story above grade plane

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Who selects and pays for the Registered Structural Peer Reviewer?

- The owner selects and pays for the services of the RSPR.
- The City of Chicago is not involved in hiring of the RSPR.
- The City is not responsible for any costs of using Structural Peer Review.



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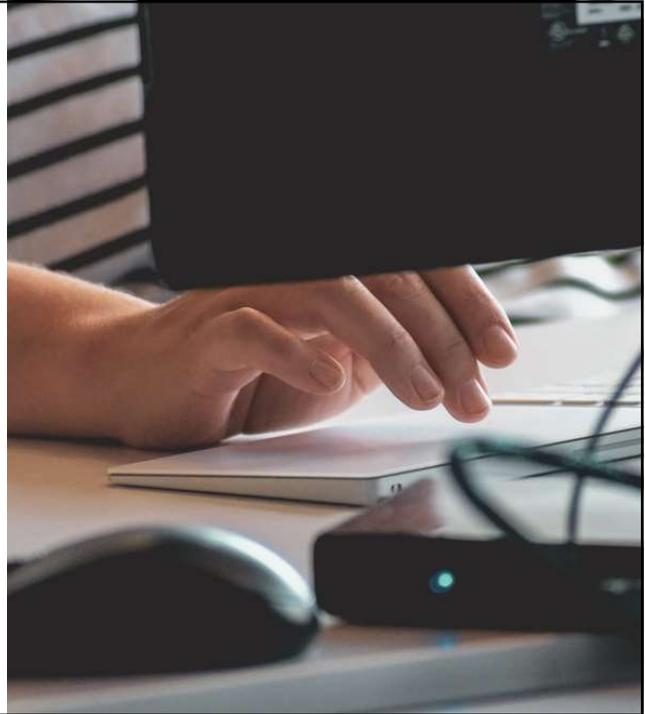
Is the Registered Structural Peer Reviewer (RSPR) an individual or a firm?

- Only an individual can be an RSPR.
- The Report must be prepared by the RSPR or a person over whom the RSPR exercises personal supervision and control.

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Who is responsible for submitting the structural peer review report to DOB?

The applicant (professional of record or expeditor) must upload the structural peer review report to the correct folder in ProjectDox.



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Can someone else perform the peer review for the selected Registered Structural Peer Reviewer (RSPR)?

The Review must be performed by and the Report must be prepared by the RSPR or a person over whom the RSPR exercises personal supervision and control. The RSPR must sign and seal the report.

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What, if any, review is performed by DOB?

- A cursory review of the Report is performed by DOB to verify content, certification, and completeness.
- DOB may audit Reports before or after issuance of the associated permit.



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Qualifications

- Illinois-licensed Structural Engineer or Architect
- Licensed to practice engineering or architecture in any jurisdiction for at least 6 years
- Licensed in Illinois at least 3 years
- At least 5 City of Chicago permits in last 5 years
- Successful competition of Structural Peer Reviewer training (every 5 years).



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Selection

- A permit applicant may select any Registered Structural Peer Reviewer (RSPR) from the current list maintained by DOB.
- The RSPR must have demonstrable technical expertise in projects similar in scope and complexity to the project to be reviewed.
- The RSPR (and the RSPR's firm) must be independent of the applicant and the design and construction team.
- The RSPR must be selected and retained prior to initial submission of the permit application.

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The Peer Review and Peer Review Report

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Standard of Care

- In conducting the review, the RSPR must exercise the level of skill and care used by an Illinois-licensed structural engineer practicing in the greater Chicagoland area acting as a structural peer reviewer on a project of similar scope and complexity.
- The RSPR is responsible for preparation and assembly of the entire Structural Peer Review Report.



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Scope of Review

1. In conducting the review, the RSPR must exercise the level of skill and care used by an Illinois-licensed structural engineer practicing in the greater Chicagoland area acting as a structural peer reviewer on a project of similar scope and complexity.



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Scope of Review (continued)

2. In preparing the Report, the RSPR must, at a minimum, review all materials necessary to fully address all topics listed in Rule G, including, as applicable: documentation of existing conditions, inspection and testing reports (including methods of sampling), analyses prepared by the engineer of record and consultants, preliminary structural designs, and current permit drawings. These materials must be provided by the professional of record.



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Scope of Review (continued)

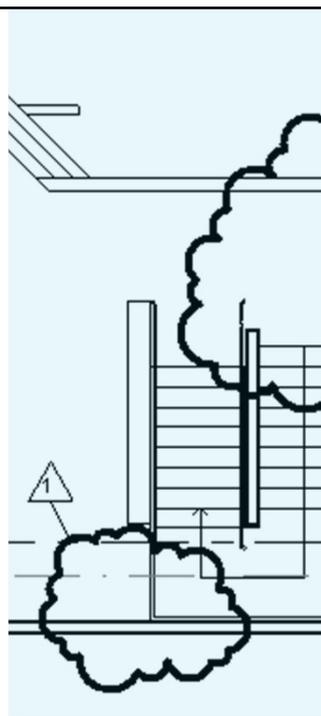
3. If, following initial review of materials provided by the professional of record, the RSPR is unable to fully address any topic listed in Rule G, the RSPR must submit written comments to the professional of record.



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Scope of Review (continued)

4. The professional of record must revise the permit drawings or provide additional information to address each comment by the RSPR. The professional of record must provide a single document detailing the response to each comment from the RSPR, including citation to each relevant revision. After all of the RSPR's comments have been addressed, the professional of record must provide a copy of current permit drawings to the RSPR.



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Scope of Review (continued)

5. The RSPR must review and base the Report on the current permit drawings.
6. The RSPR must review all structural aspects of the project, including earth retention systems (if applicable).

*An exception allows one report, prepared by two RSPRs when one RSPR only addresses earth retention systems.



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Contents of the Report

1. The top of the first page of the Report must state the permit application number to which it applies, as well as the exact project address used on the permit application.
2. The first page of the Report must contain the RSRP certification statement from the Rules, signed and sealed by the RSPR.

Any modification to the statement, except for insertion of the RSPR's name, will result in rejection of the Report by the Department.



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RSPR Certification Statement

I, [RSPR NAME], hereby certify that I have performed a structural peer review and prepared this report in accordance with the Structural Peer Review Program Rules effective January 1, 2018.

I possess professional experience and expertise in projects of similar scope and complexity. I performed these services consistent with the standard of care applicable to the performance of structural engineering peer review services on projects of similar size and complexity in the greater Chicagoland area.

The peer review was limited to a review of the extent to which the design in question complies with City of Chicago Building Code requirements. I have further determined that the structural design is in substantial compliance with the City of Chicago Building Code.

I further certify that neither I nor any firm with which I am affiliated has a financial or other interest in this project other than as structural peer reviewer.

Signature:

Date:

IL License No.:

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Contents of the Report (continued)

3. The Report must NOT include any conditions, limitations or unresolved issues. All issues between the RSPR and engineer of record must be resolved prior to completion of the Report.
4. The Report must document the RSPR's professional expertise with projects of similar scope and complexity to the project under review by listing the name, location, and approximate date of such other projects, and the RSPR's role in such projects.



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Contents of the Report (continued)

5. The Report must include evidence that the RSPR holds professional liability insurance as required by these Rules.
6. The Report must include a copy of the RSPR's current license to practice structural engineering issued by the State of Illinois.
7. The Report must include all correspondence required by Rule E between the RSPR and professional of record.



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Contents of the Report (continued)

8. At a minimum, the Report must:
 - a. List all codes and standards used in the design of the project, and verify that these are appropriate;
 - b. List all structural design criteria, including loads and performance requirements, and verify that these are appropriate;
 - c. List the technical basis for design criteria that are not specified directly in applicable codes and standards, including, as applicable, reports by specialty consultants such as wind tunnel study reports and geotechnical reports, and verify that these are appropriate;



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Contents of the Report (continued)

8. At a minimum, the Report must:
 - d. Describe the documented investigation of existing site conditions performed by the professional of record, and verify that the scope of investigation is appropriate;
 - e. Verify that the proposed design conforms to existing site conditions, as documented;
 - f. Identify the title, sheet number, and revision date of each structural and architectural drawing for the project used to complete the Report, either individually or by reference to dated set(s);



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Contents of the Report (continued)

8. At a minimum, the Report must:
 - g. Verify that the structural drawings are in general conformance with the architectural drawings regarding load conditions and other conditions that may affect the structure;
 - h. Verify that major mechanical items are indicated in the structural drawings and accounted for in the structural design;
 - i. Verify that the structural drawings are suitable for permitting;



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Contents of the Report (continued)

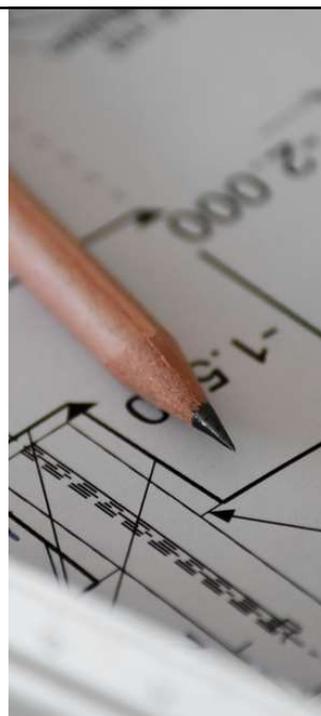
8. At a minimum, the Report must:
 - j. Verify that the structural calculations documenting the design are suitable for permitting;
 - k. Verify that the notes on materials, loadings, design criteria, and conditions in the current permit drawings are suitable for permitting; and



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Contents of the Report (continued)

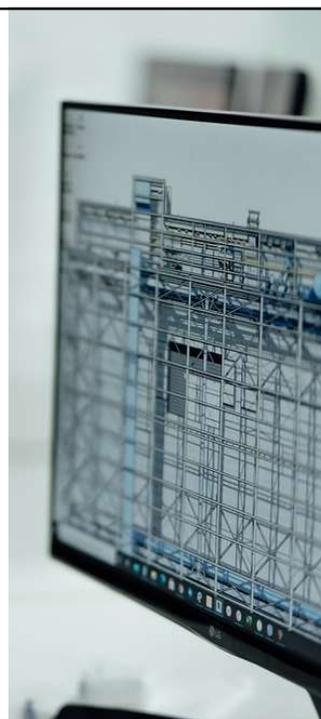
8. At a minimum, the Report must:
 - l. Verify that the structural design conforms to the Building Code, by specifically reviewing:
 - (1) Overall design concepts and methods, including methods of resisting gravity and lateral loads and methods of providing for lateral stability;
 - (2) Computer programs used and the appropriateness of their application; and
 - (3) Structural analysis used to determine member forces and performance parameters, such as wind-induced deformation (either by examining methods and computer input and output or by independent analysis by RSPR);



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Contents of the Report (continued)

8. At a minimum, the Report must:
 1. . . . and performing:
 - (1) A general review of the reasonableness of the design of all structural systems; and
 - (2) A complete check of the design of at least 2 selected components.



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Contents of the Report (continued)

9. Required information must be presented in substantially the order listed in this Rule.
10. Each page of calculations performed by the RSPR must be clearly marked to distinguish such calculations from calculations performed by the professional of record or others (if any) included in the Report.



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Validity of a Report

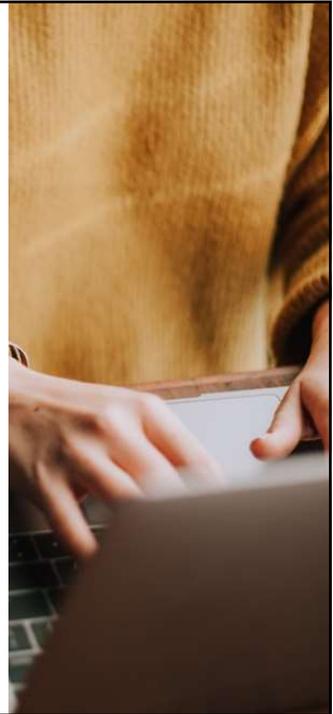
1. The Report must be based upon the current permit drawings.
2. Any substantive revision to the current permit drawings requires additional review and preparation of a revised report by the RSPR.
3. Instead of a revised Report, the RSPR may issue a dated, signed and sealed “no impact” letter if the revisions do not change the outcome of the original Report.



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Submittal Procedures

- The applicant is responsible for uploading the Structural Peer Review Report simultaneously with all other building permit application documents into ProjectDox.
- “STRUCTURAL PEER REVIEW” must be included in the description of work on the building permit application.



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Review and Audit

- The Department may audit Structural Peer Review Reports before or after the permit has been issued. Reports are selected for audit on a random or judgmental basis.
- The audit results will be used to assure compliance with the structural provisions of the Building Code, to evaluate the Structural Peer Review program and to initiate discipline of the RSPR.



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