

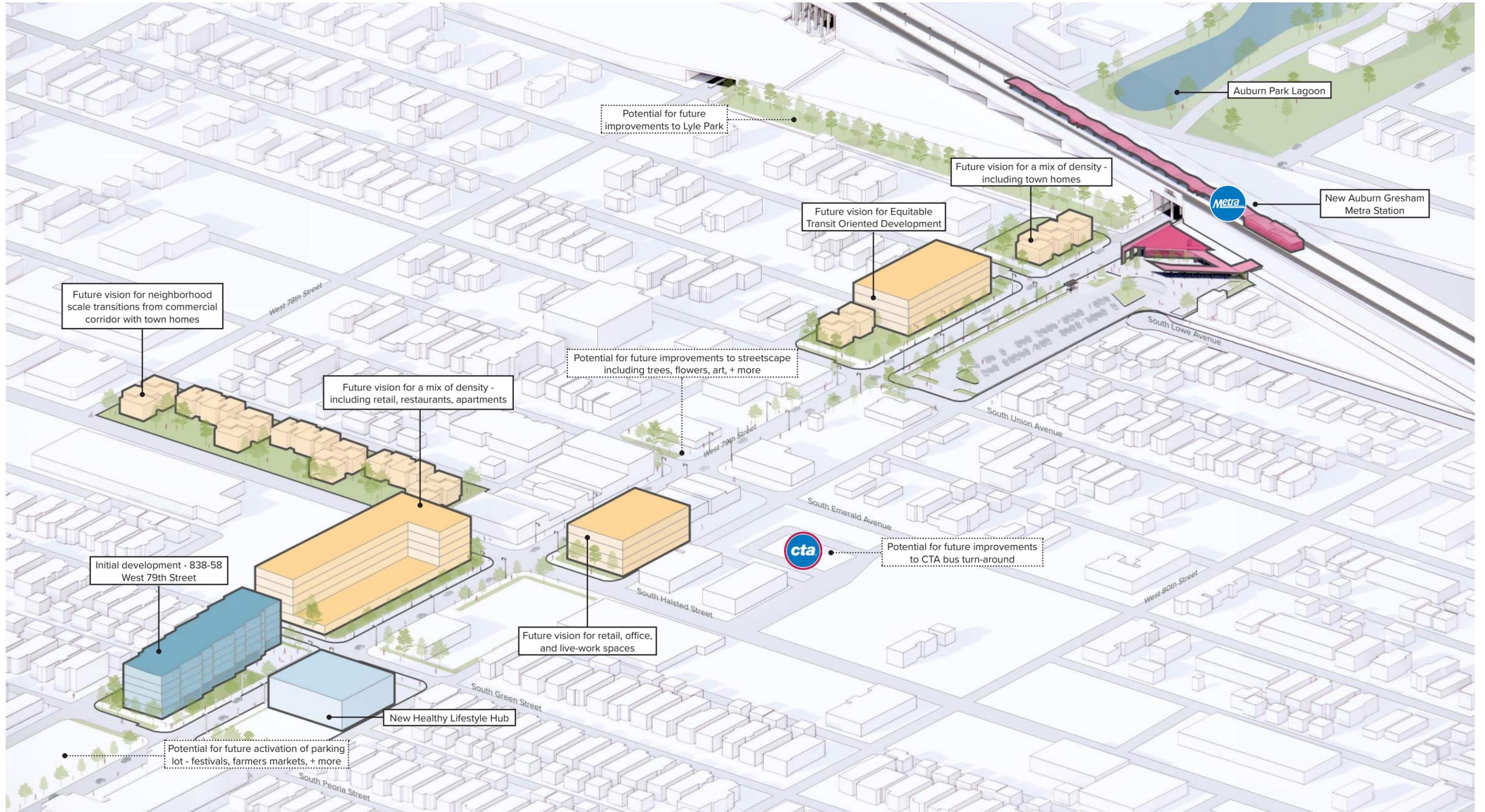
Auburn Gresham Community Meeting

August 12th, 2021



ross barney architects + nia

79th Street - The Corridor Approach

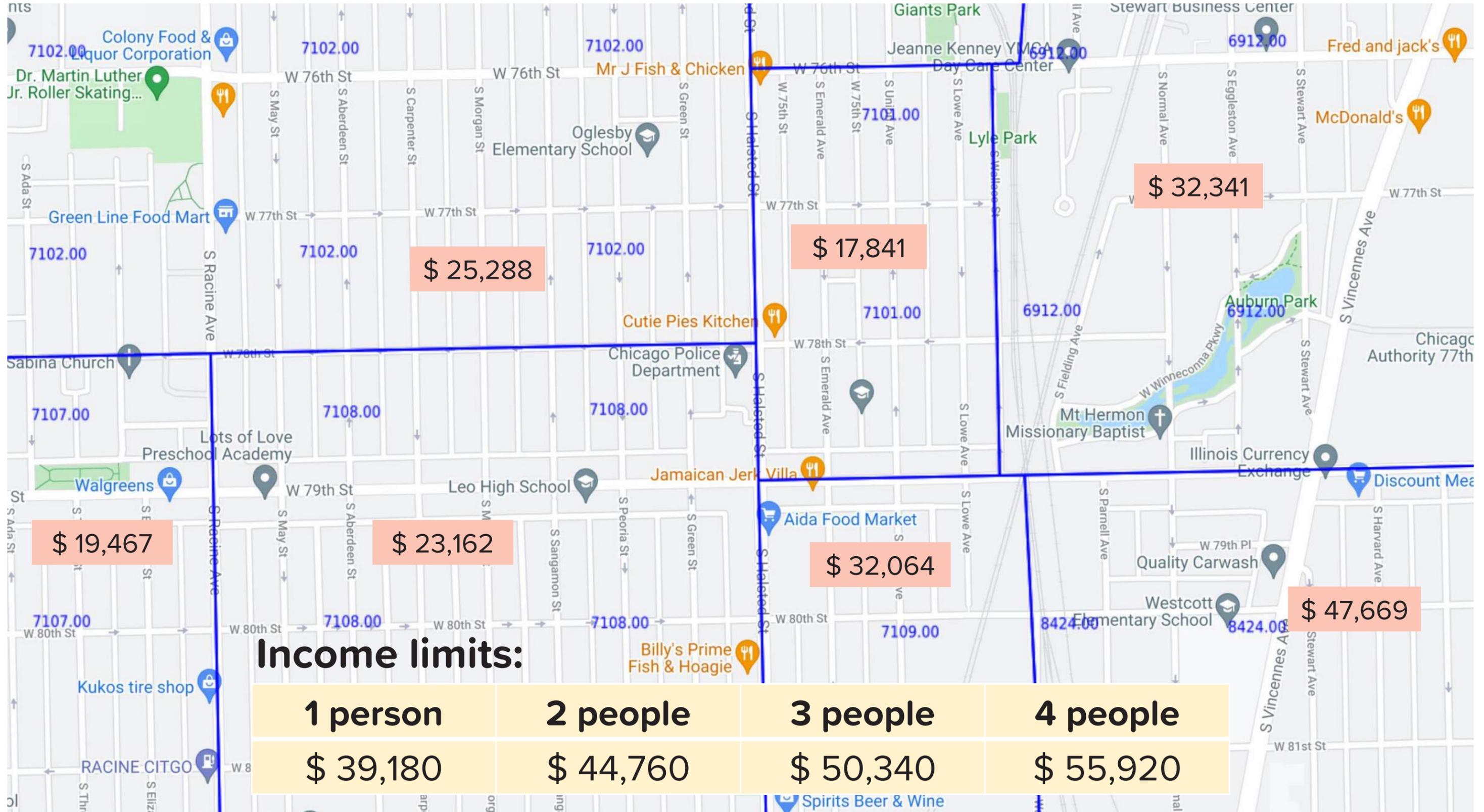


Evolution of the Concept

- From one site to multiple sites
- Significant reduction in density
- Increase in amount of retail space
- 1:1 residential parking at 838 W 79th St site, plus additional parking for use by Healthy Lifestyle Hub or others
- Outdoor courtyard connection to parking from Healthy Hub building

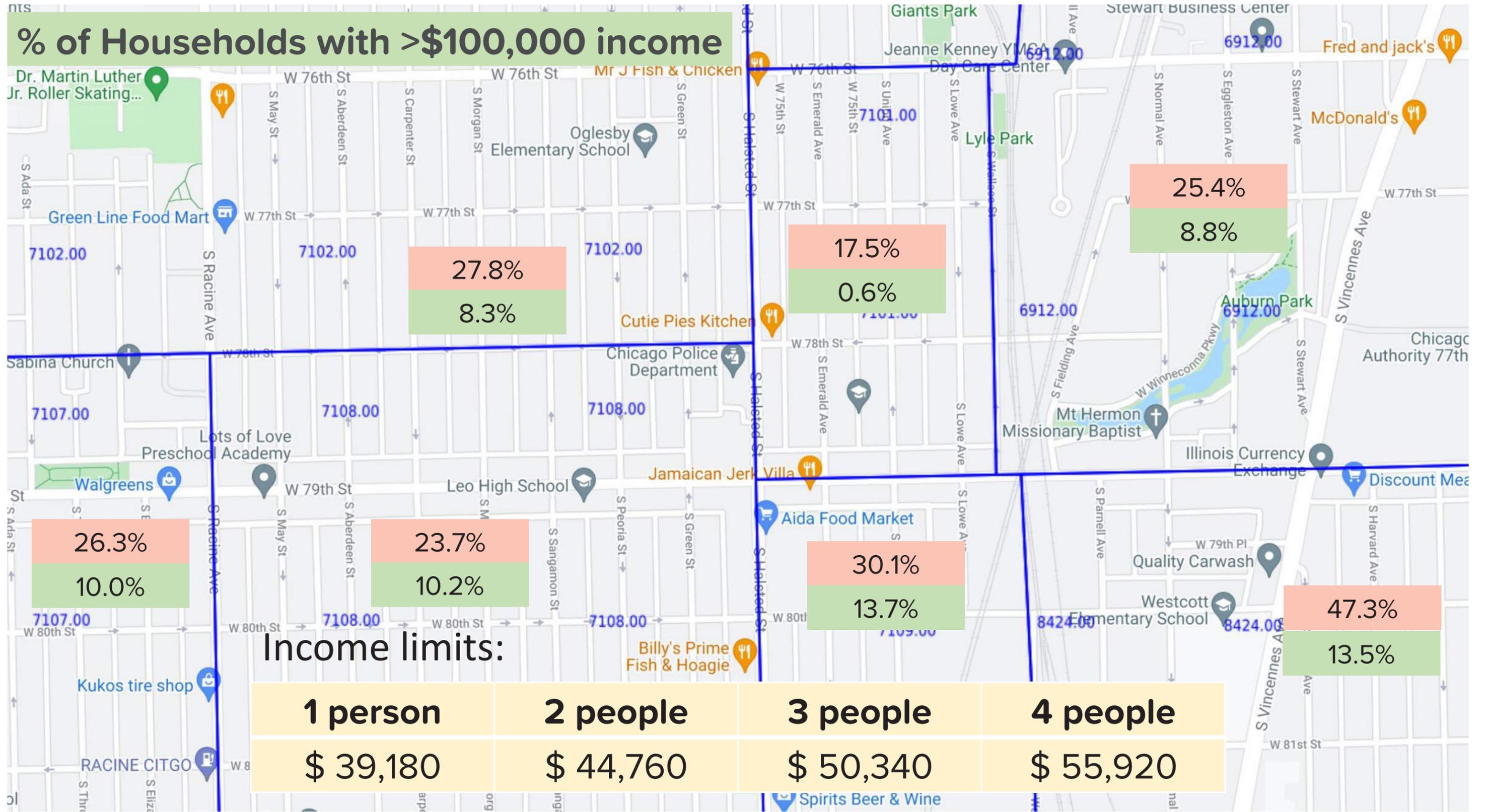
Income Limits & Median Incomes

Per U.S. Census American Communities Survey 2019 estimates



% of Households with >\$50,000 income

% of Households with >\$100,000 income



Income limits:

1 person	2 people	3 people	4 people
\$ 39,180	\$ 44,760	\$ 50,340	\$ 55,920

Rents (net after utility allowance)

1BR	2BR	3BR
\$ 915	\$ 1,089	\$ 1,252

- Distinction among different kinds of affordable housing
 - Tax credit only units (LIHTC) – what we are proposing here:
 - Tenant must have sufficient earned income to pay the listed rent
 - Often called workforce housing
 - Section 8 or Project-Based Vouchers
 - Tenant pays 30% of income
 - This project will not incorporate this tool
 - Public Housing
 - Tenant pays 30% of income
 - This project will not incorporate this tool
- As a reminder, no landlord can discriminate against a tenant with a Housing Choice Voucher (Tenant-Based Voucher)

Restricted vs. Current Market Rents

1BR	2BR	3BR
\$ 915	\$ 1,089	\$ 1,252

hotpads Apartments Houses My list Messages Alerts List your rental | Sign in / Register

Chicago, IL All filters Any price 1-3 beds, all baths Commute Pets Clear all filters Get alerts

Viewing 207 listings

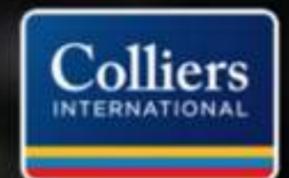
- \$1,040+**
2 to 3 beds
8456 S Wabash Ave
Chatham, Chicago, IL
New! 3d ago Apartments for rent
- \$1,000**
2 beds
7348 S King Dr
Park Manor, Chicago, IL
Apartments for rent
- \$920**
2 beds
8000 S Paulina
Gresham, Chicago, IL
Apartments for rent
- \$910**
2 beds
8001-03 S May St
Gresham, Chicago, IL
Apartments for rent
- \$895+**
2 beds
7643 S Stewart Ave
Gresham, Chicago, IL
Apartments for rent
- \$775**
1 bed
7944 S Paulina
Gresham, Chicago, IL
Apartments for rent
- \$965**
2 beds
7700 S Carpenter St
Gresham, Chicago, IL
Apartments for rent
- \$810**
1 bed
7914 S Hermitage Ave
Gresham, Chicago, IL
Apartments for rent
- \$895+**
2 beds
7800-06 S Morgan
Gresham, Chicago, IL
Apartments for rent
- \$1,100**
2 beds
South Shore Apartments
Gresham, Chicago, IL
Apartments for rent
- \$770**
1 bed
7900-06 S Wabash
Chatham, Chicago, IL
★★★★★
- \$905**
1 bed
7929 S State St
Chatham, Chicago, IL
Apartments for rent

Retail Follows Rooftops | Density Means Business

Fort Lauderdale Chamber of Commerce

Presented by: Ken Krasnow | Executive Managing Director

April 27, 2017



The Park Supper Club



THE PARK
Supper Club

Father's Day
BRUNCH

Fixed price brunch \$55/pp
Bottomless mimosas \$18/pp

Includes choice of appetizer for the table
Homemade hummus with pita or herb grilled shrimp

- Choice of Entree**
Soup or salad
Lobster Quiche
Chicken Alfredo

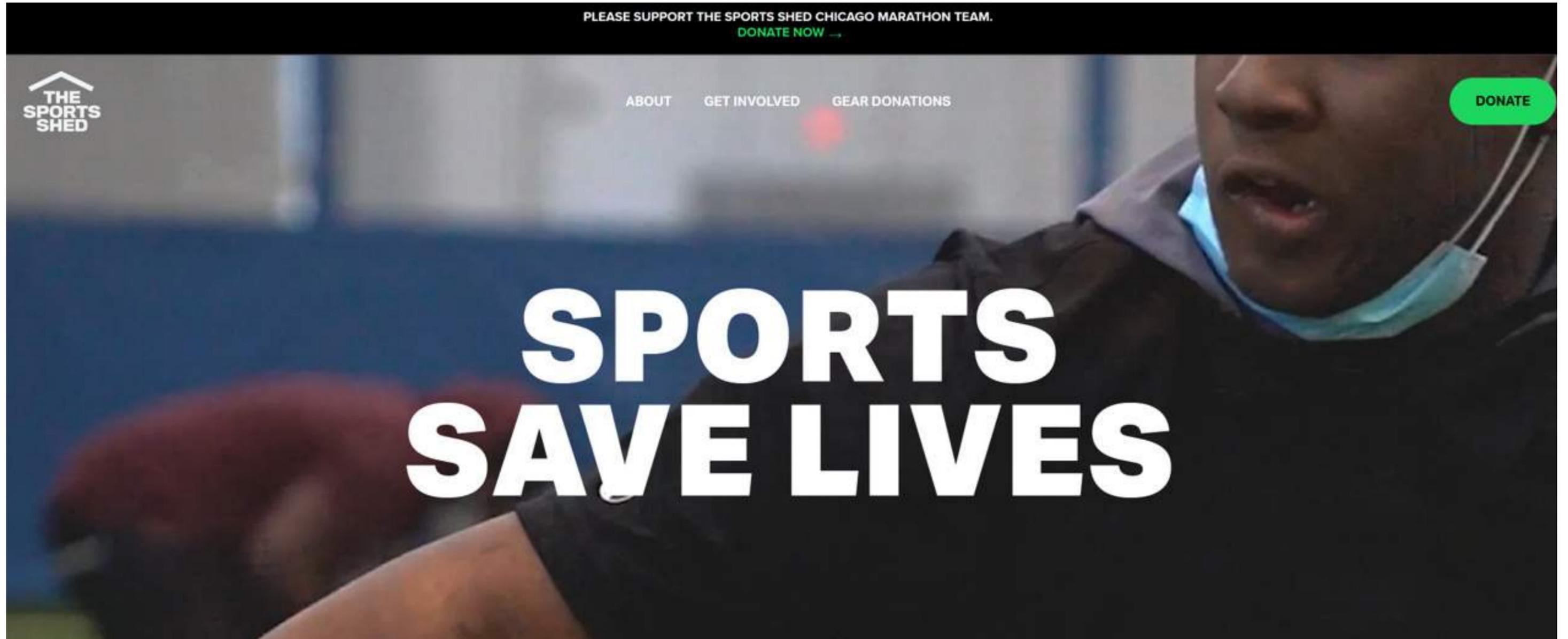
Center cut NY strip steak
Tomahawk steak (additional \$50)

Coffee/dessert included

Make reservations from website: www.theparksupperclub.com
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The KLEO Center



K.L.E.O.
KEEP LOVING EACH OTHER.

Connections to the Healthy Living Hub



Summary

- Proposed approach represents 60% reduction in density (from 62 units to 26 units) on original 838 W 79th Street site
- Project adds additional parking spaces potentially for use by Healthy Living Hub (or other neighbors) and a direct, landscaped and covered connection to the parking area
- Total amount of retail space in the project has increased, to approximately 10,000 square feet, on two sites
- Site also fills in major vacant corner at 79th and Halsted, to help encourage reinvestment in community retail at this “100% corner”

Next Steps

Overview

- Where We Have Been
- Where We Are
- Design Progress



Process



Open House 1
June 8, 2021
In-Person @ Leo High School
Online w/ Zoom



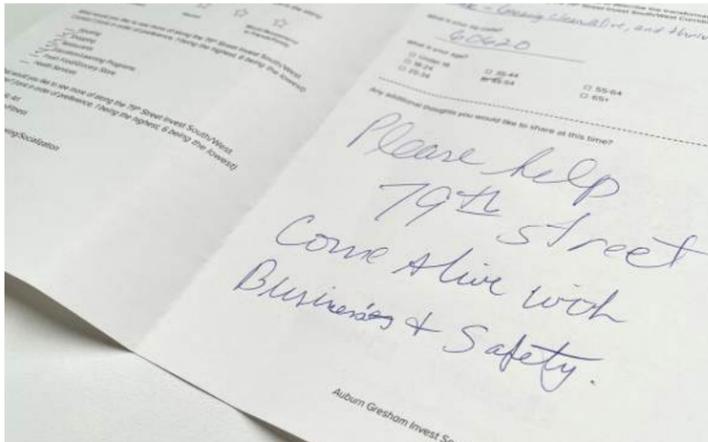
Open House 2
June 12, 2021
In-Person @ Foster Park



Synthesis Workshop
June 16, 2021
In-Person @ Saint Sabina Church

Goals:

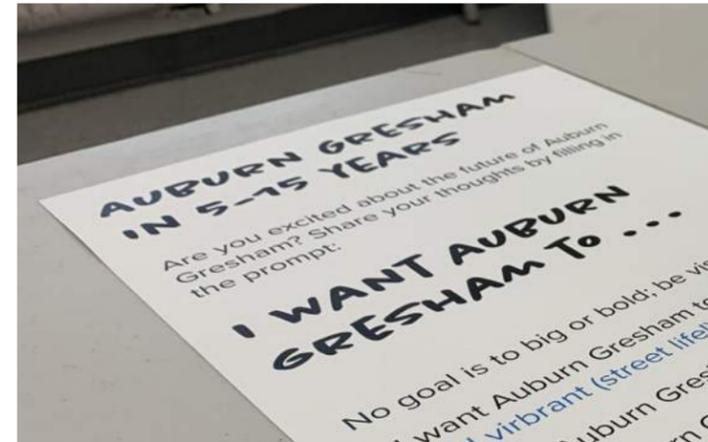
- Listen
- Empower equitable participation
- Build trust
- Celebrate the opportunity to enhance the 79th St. Corridor together



Community Roundtable
June 24, 2021
Online w/ Zoom



Evaluation Committee
July 22, 2021
Online w/ Zoom



Community Roundtable
August 12, 2021
In-Person @ 1st Corinthian Baptist Church

Goals:

- Act
- Continue equitable participation
- Determine feasibility
- Synthesize community goals/ideas into a solution

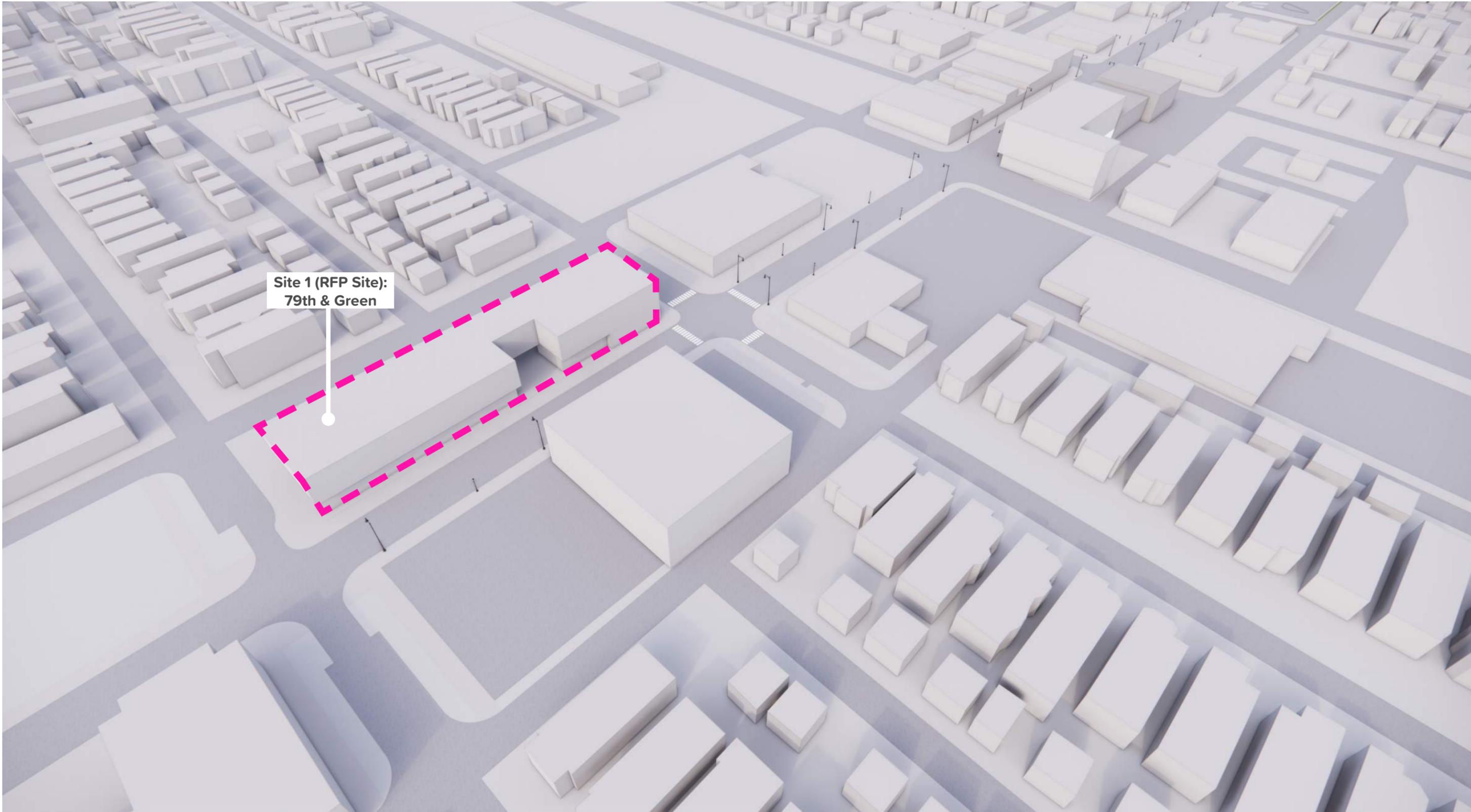
Site(s)



Site 1 (RFP Site):
79th & Green

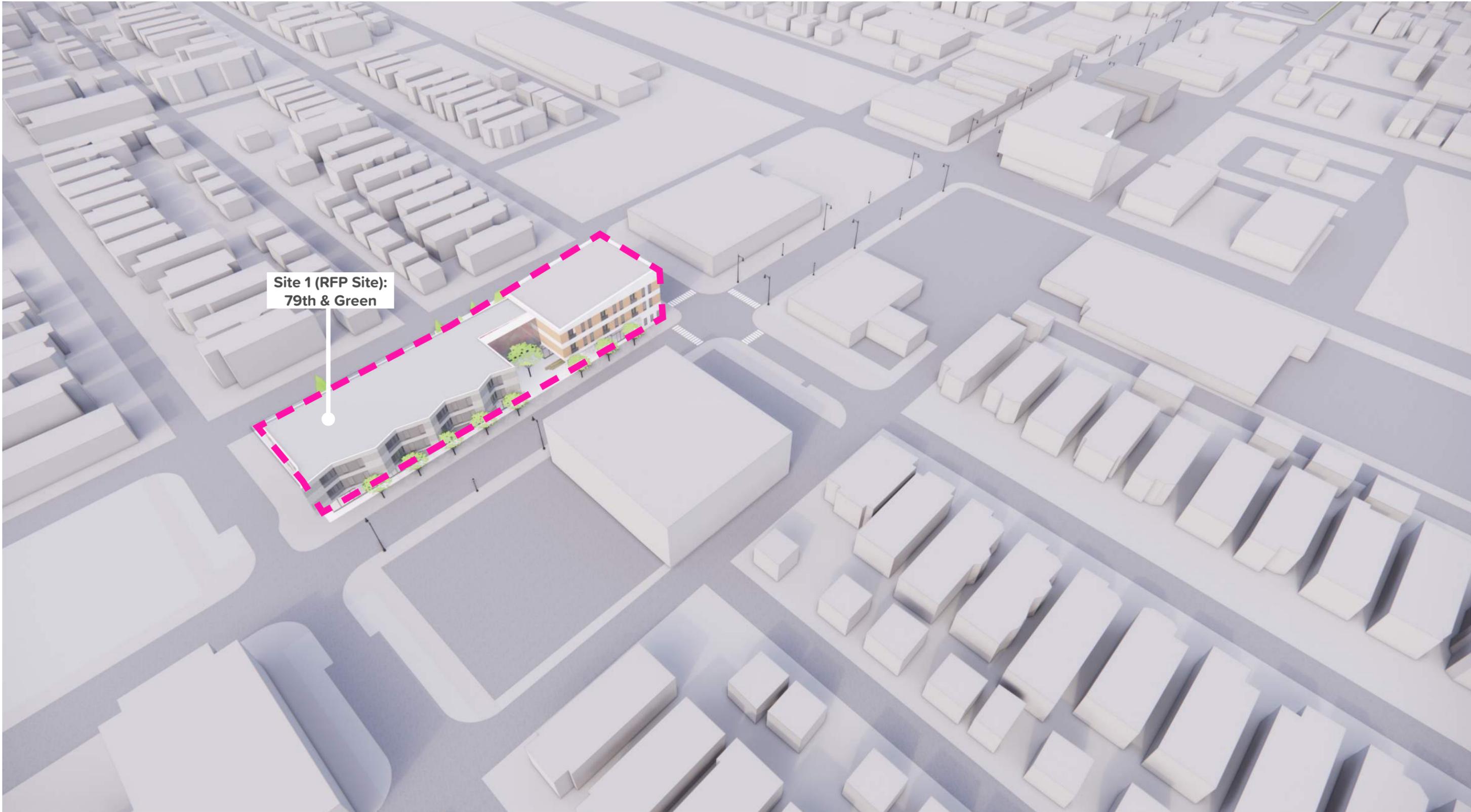
Site 2:
79th & Halsted

Site 1



Site 1 (RFP Site):
79th & Green

Site 1



Site 1 (RFP Site):
79th & Green

Site 1



Current view from 79th & Green



Current view from 79th & Peoria

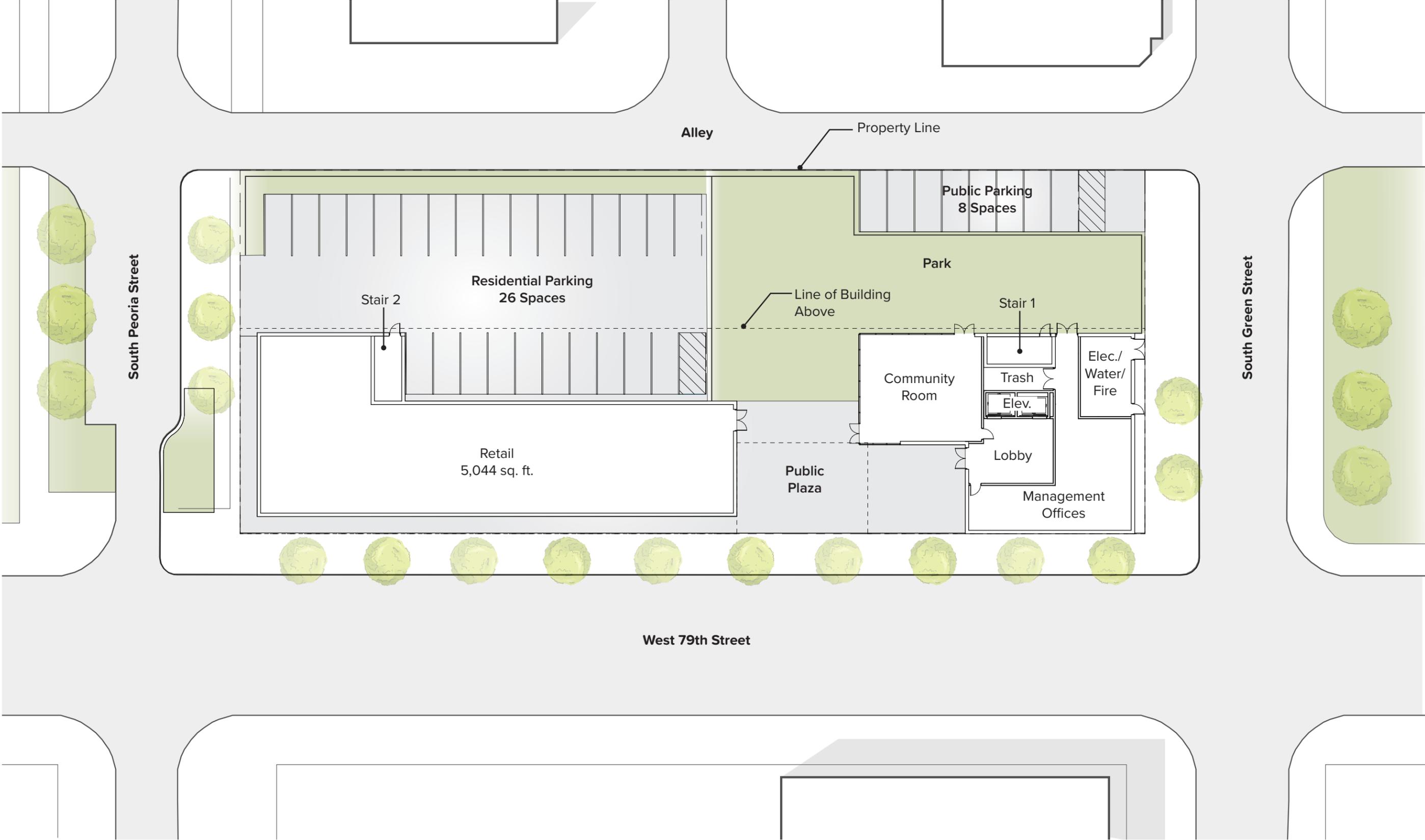


Proposed view from 79th & Green

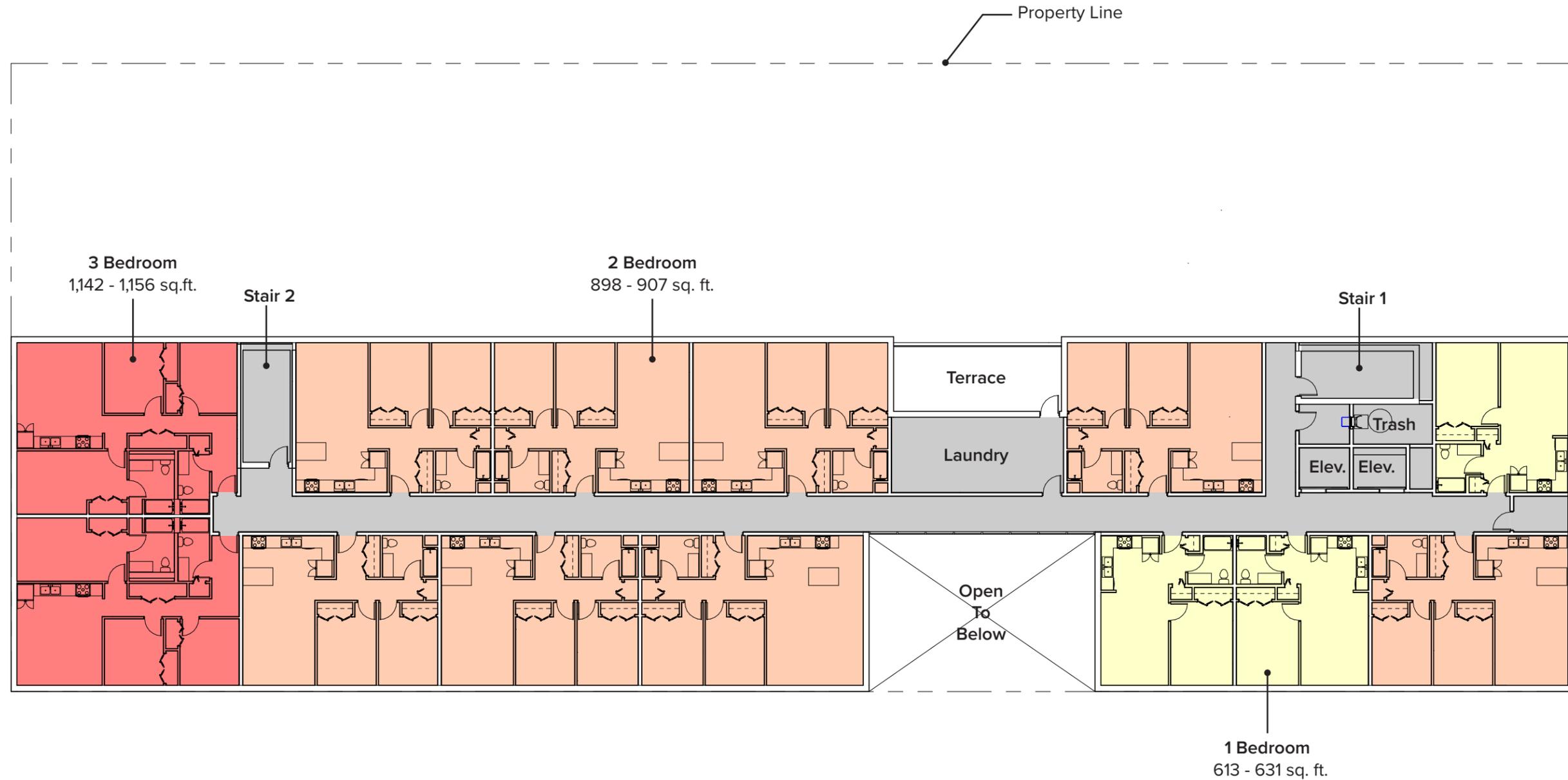


Proposed view from 79th & Peoria

Site Plan



Typical Floor Plan



1 BED
 2 BED
 3 BED
 SERVICE

Unit Type	Count
1 Bed	6
2 Bed	16
3 Bed	4
Total	26 Units



In Context



New proposed design vs. original RFP design

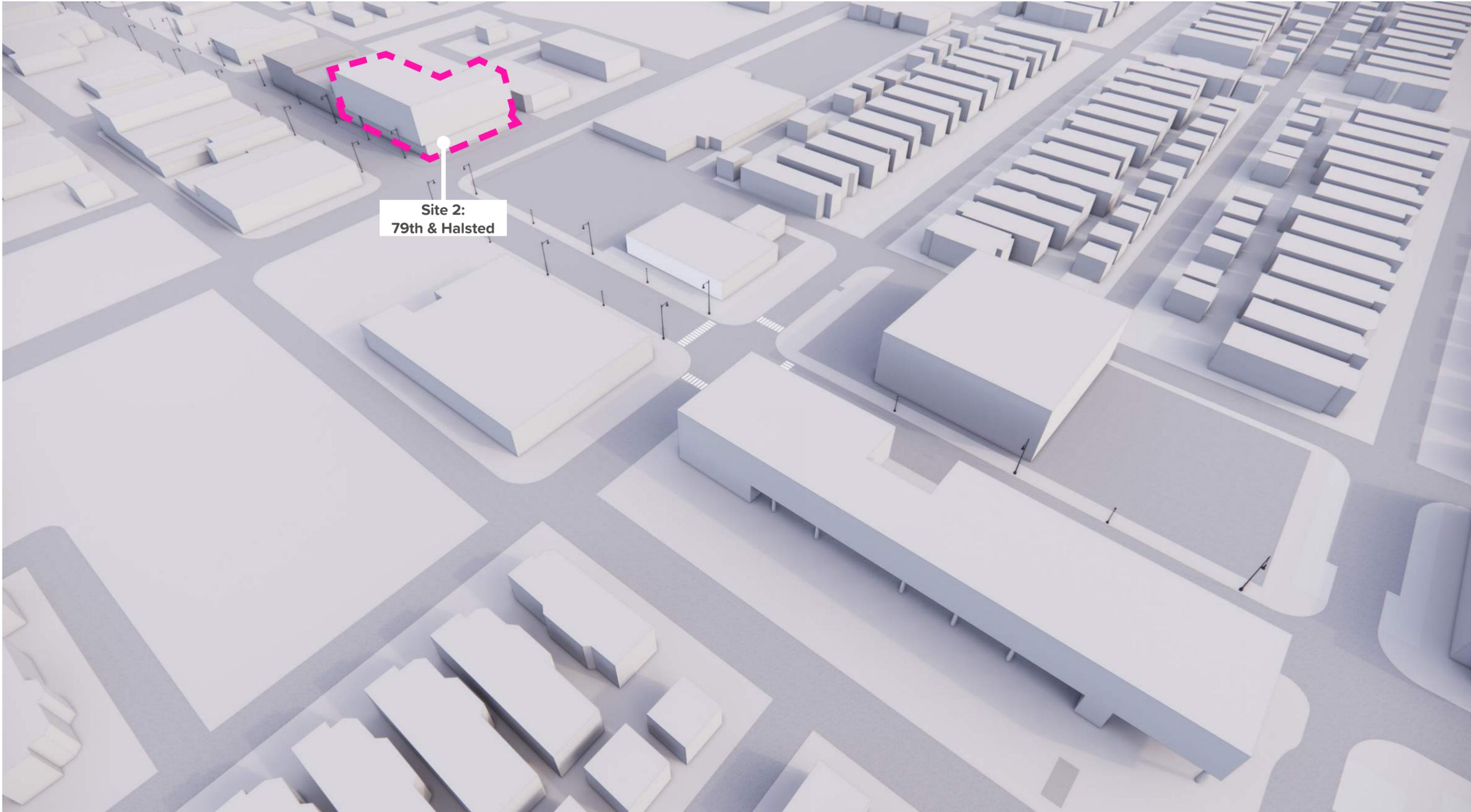


Proposed view of public plaza from west



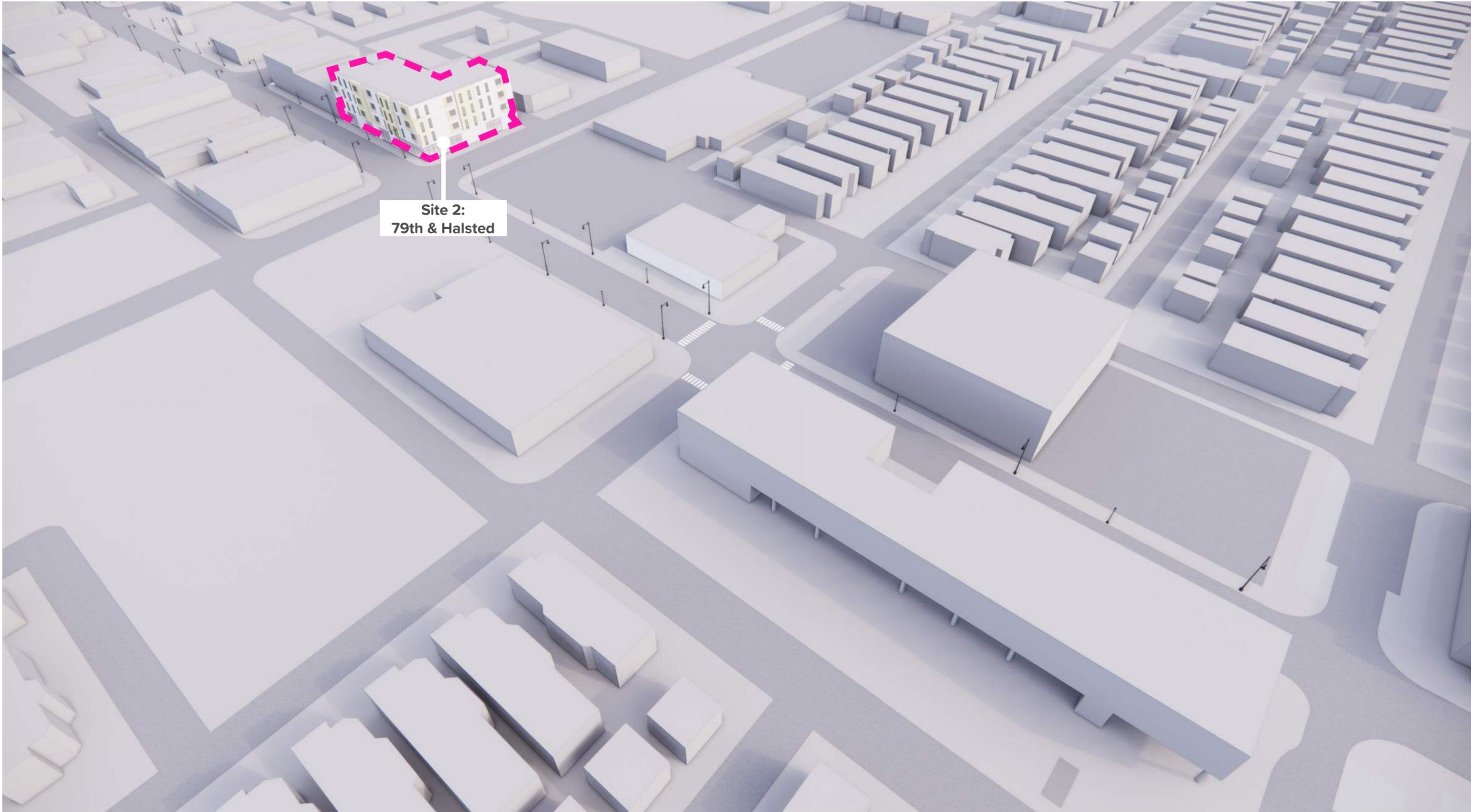
Proposed view of public plaza from east

Site 2



Site 2:
79th & Halsted

Site 2



Site 2



Current view from 79th & Halsted



Current view from 79th & Emerald

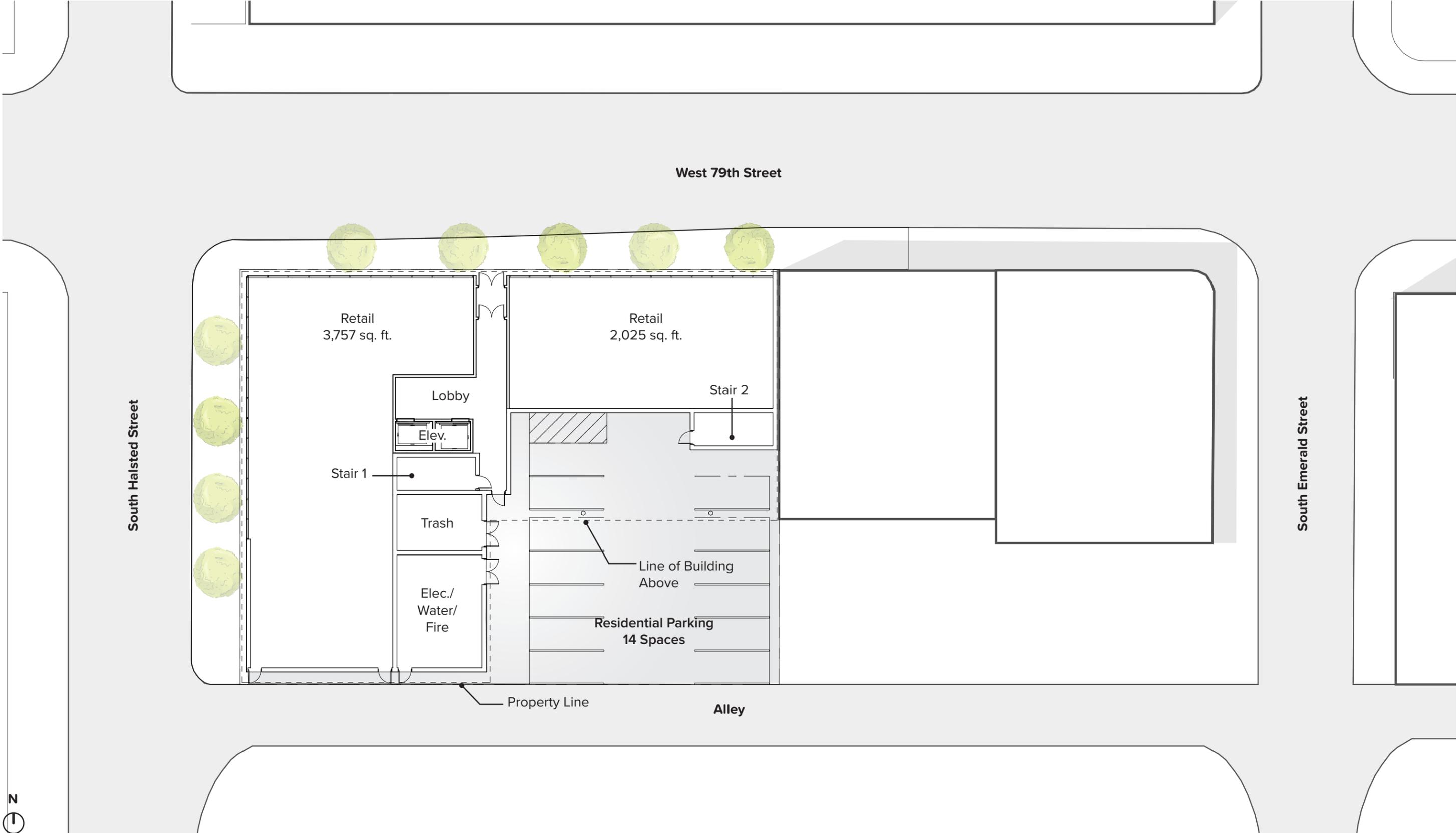


Proposed view from 79th & Halsted

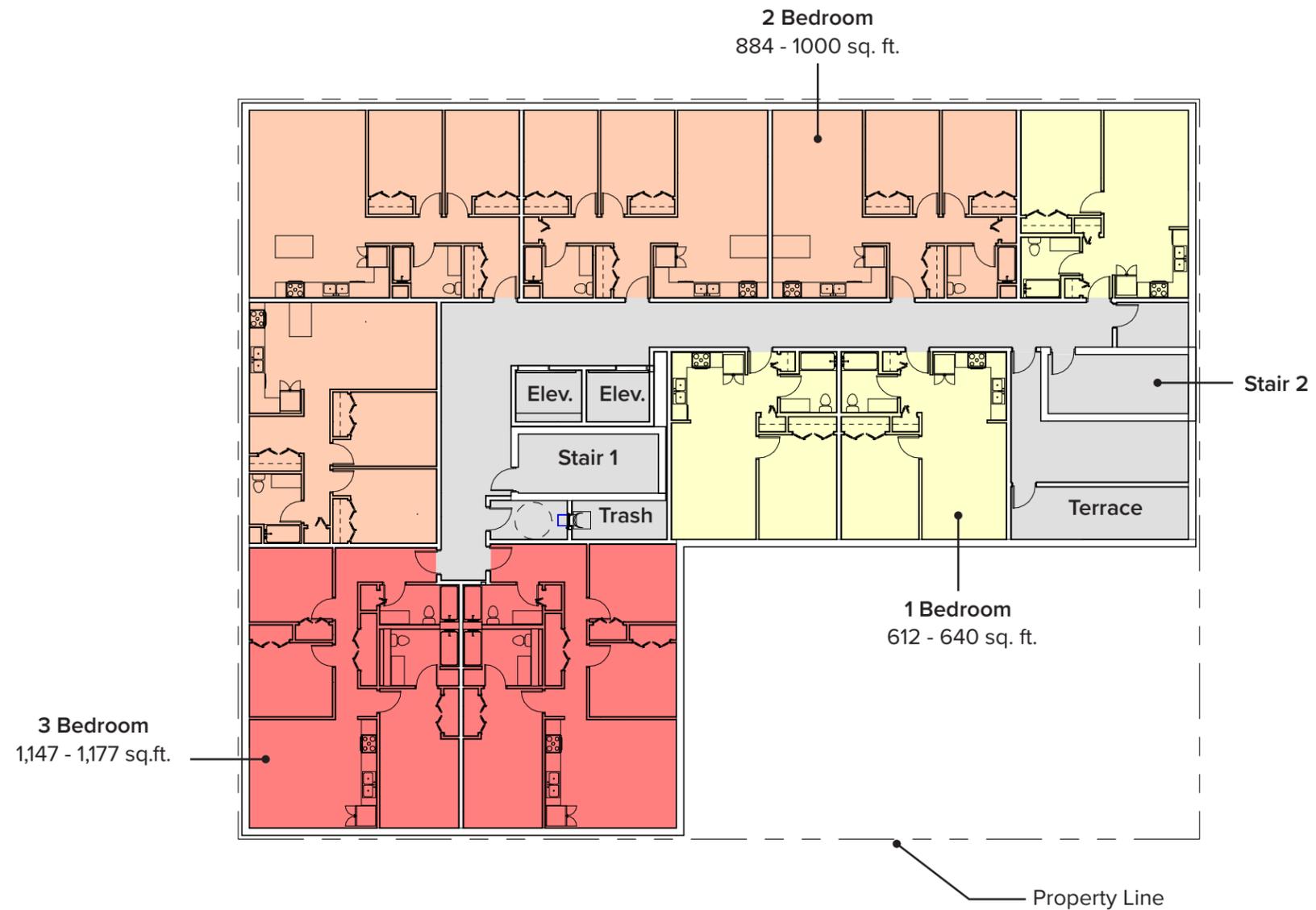


Proposed view from 79th & Emerald

Site Plan



Typical Floor Plan



1 BED
 2 BED
 3 BED
 SERVICE

Unit Type	Count
1 Bed	9
2 Bed	12
3 Bed	6
Total	27 Units



In Context



Proposed view from corner of 79th & Halsted



Proposed view walking from Emerald

Corridor Material Palette



Brick



Panelized System

