



COMMITTEE ON DESIGN Department of Planning and Development

LAKE + HALSTED DEVELOPMENT

Near West Side / 27th Ward / Ald. Burnett

Developer: 800-816 W Lake Fee Owner IL LLC

Designer: G|R|E|C Architects

Attorneys: Neal & Leroy

JUNE 14, 2023



PROJECT VISION

ZONING: **DX-10** STORIES: **36**

SITE AREA: **35,688 SF** HEIGHT: **412**'

MAX. F.A.R. AREA: **375,989 SF** UNITS: **406**

USE: **RESIDENTIAL** AUTO PARKING: **102**

BIKE PARKING: 406

DESIGN NARRATIVE

The proposed development anchors the prominent corner at Lake and Halsted Streets through compelling facade design, emphasized verticality, and activated streetscapes. This project uniquely unifies the facade expression of the podium with the residential tower, a response that elongates the appearance of the tower and camouflages the presence of the parking levels, which are too often unsightly afterthoughts of the design process.

The application of a bold accent color and geometric inflections at the corners bring a character to the project consistent with the high standard of design in the West Loop.





Alderman Burnett is fully supportive of the re-zoning and concept building massing for this project.

The owner of the building to the north of the site at 210-220 N Halsted Street is in support of this project.

The owner of the building to the west of the site at 820 W Lake Street is in support of this project.

The project presented the PD amendments to NOWL on June 5, 2023. Formal comments are forthcoming.

The project is scheduled to present the PD amendments to WCA on June 21, 2023.

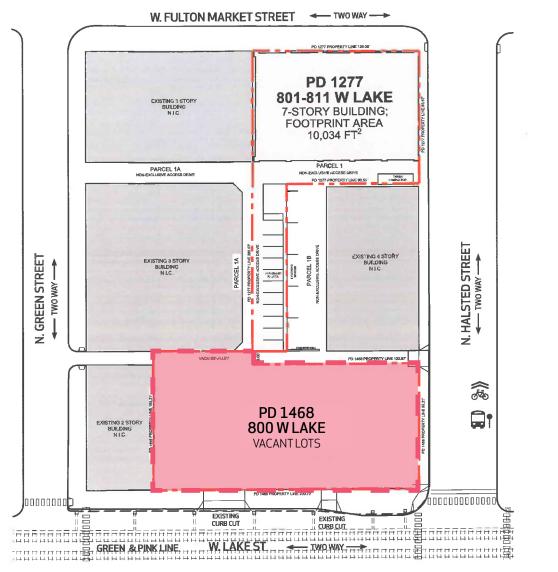


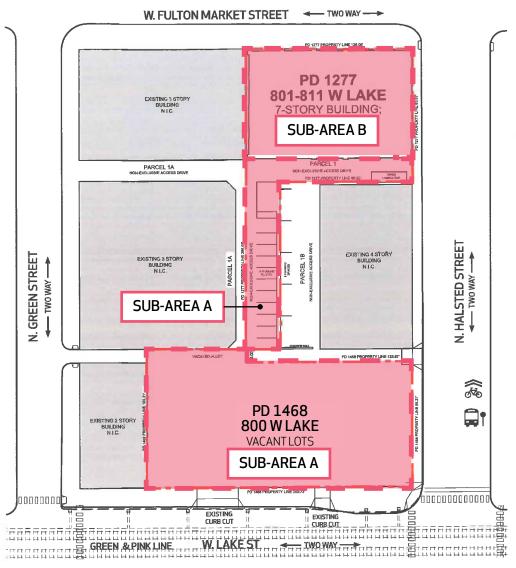
Amendment Description

The project seeks a PD amendment to add the site and existing building from existing PD 1277. The PD1277 existing building footprint is here labeled as PD1468 'Sub-Area B' and will remain unmodified. The PD1277 surface parking and alley dogleg is here labeled as a component of PD1468 'Sub-Area A'. The dogleg use and layout will remain unmodified but this area will be resurfaced in compliance with CDOT standards.

The project seeks a PD amendment for a change of use from hotel to residential.

The projects seeks a PD amendment for a change in building height from 265' to 412'



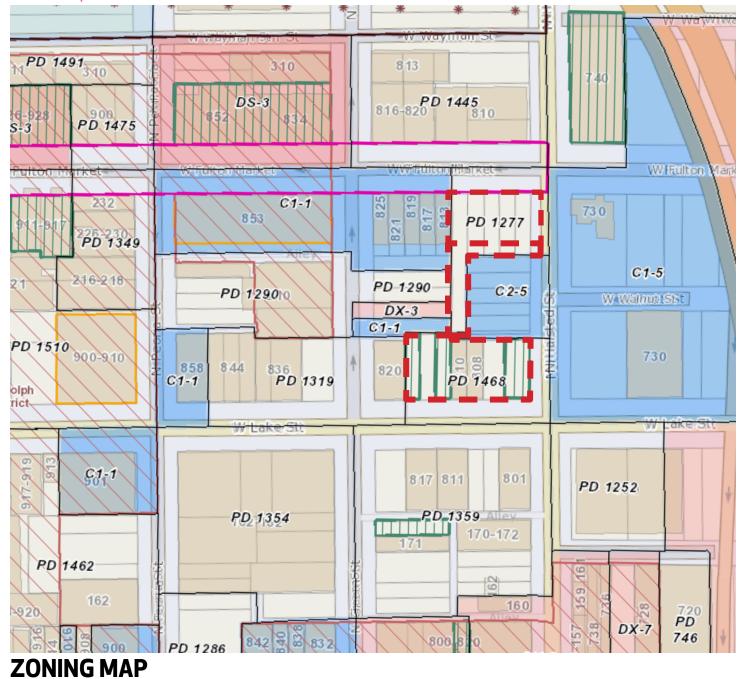


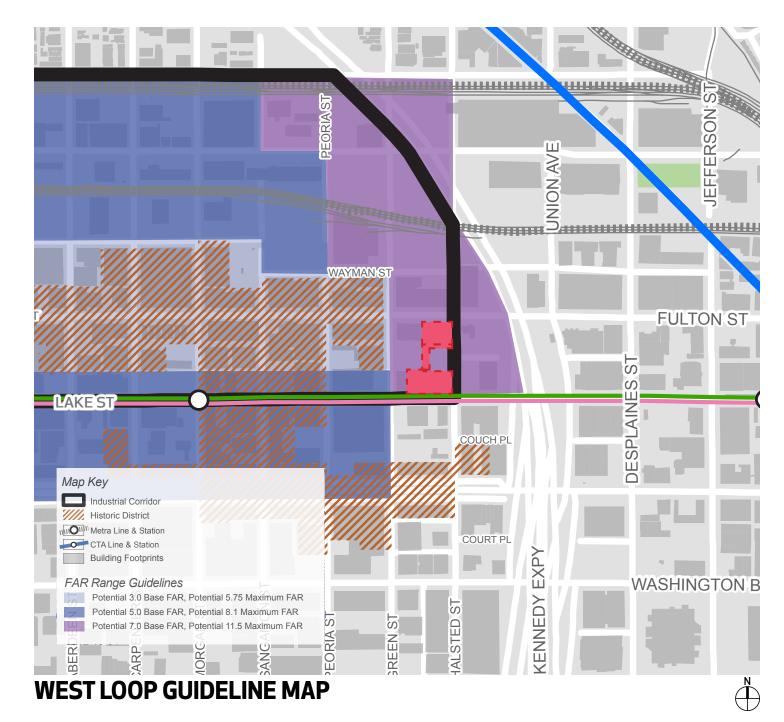
APPROVED PD 1468

PROPOSED PD 1468 AMENDMENT

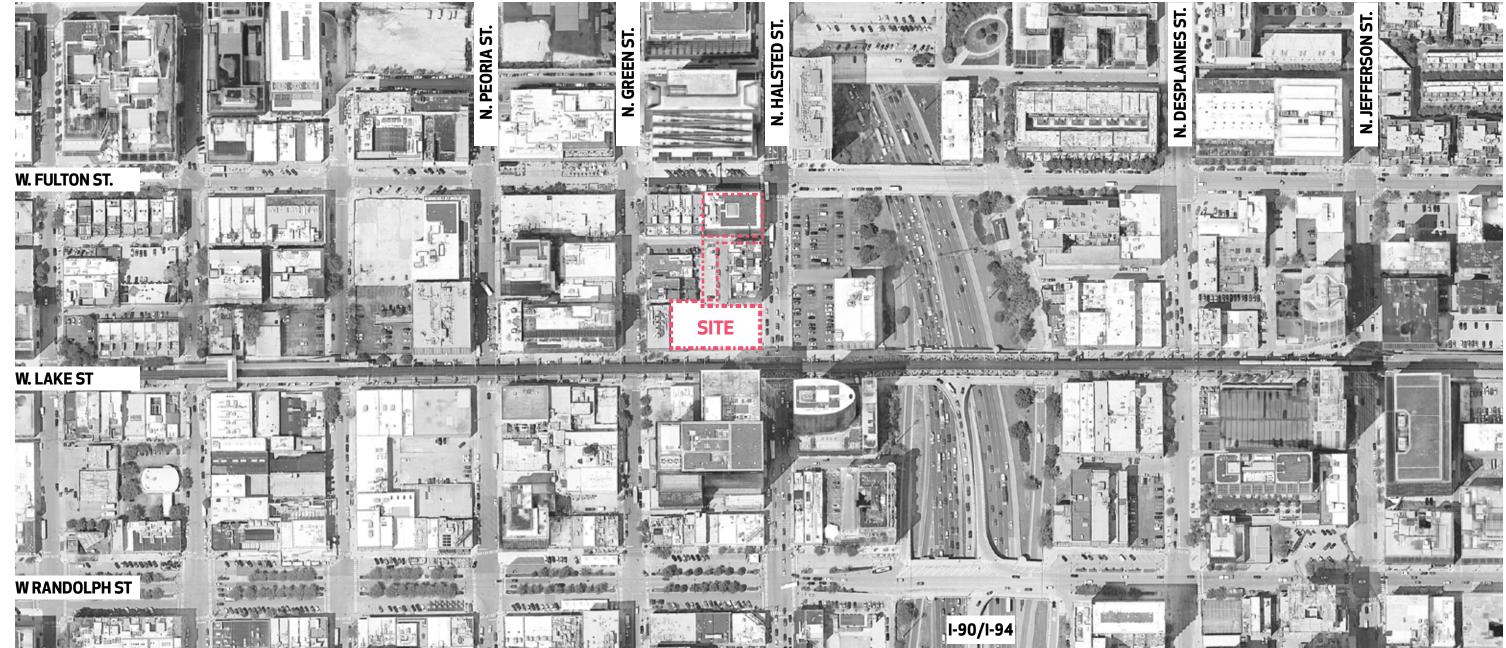












SITE MAP





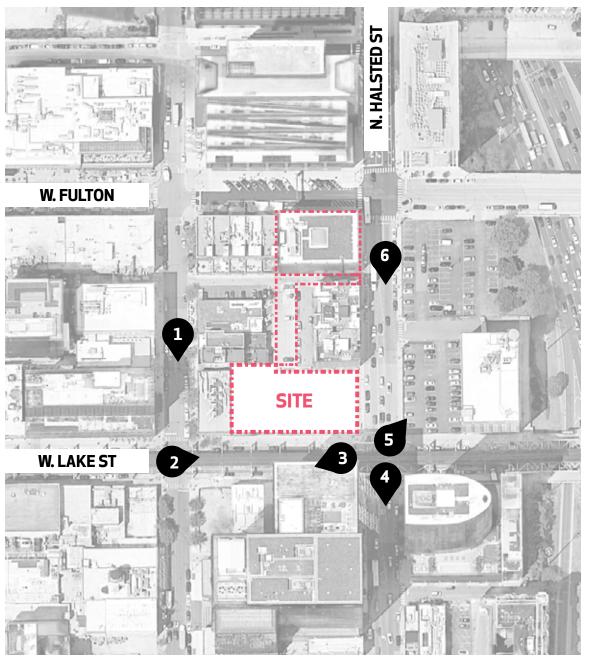
GREEN-LOOKING SOUTH



LAKE - LOOKING EAST



LAKE - LOOKING WEST



SITE MAP



HALSTED - LOOKING SOUTH



HALSTED - LOOKING NORTHEAST



HALSTED - LOOKING SOUTH







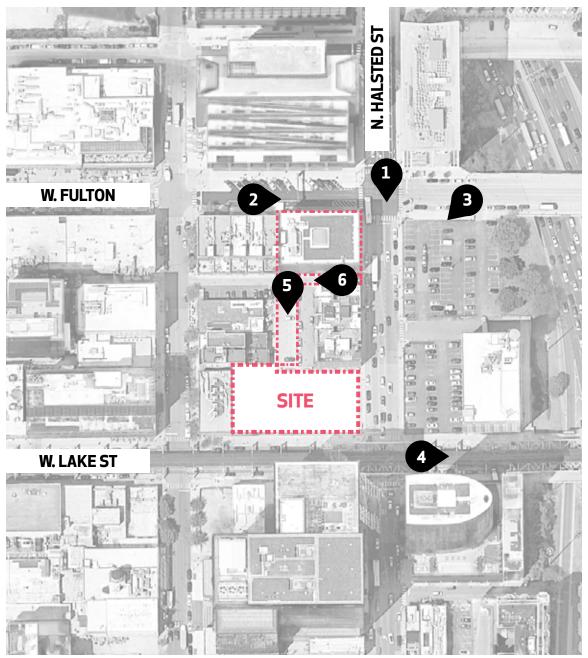
HALSTED - LOOKING SOUTH



FULTON - LOOKING EAST



FULTON - LOOKING SOUTHWEST



SITE MAP



PRIVATE ALLEY - LOOKING WEST



PRIVATE ALLEY - LOOKING SOUTH



LAKE - LOOKING EAST

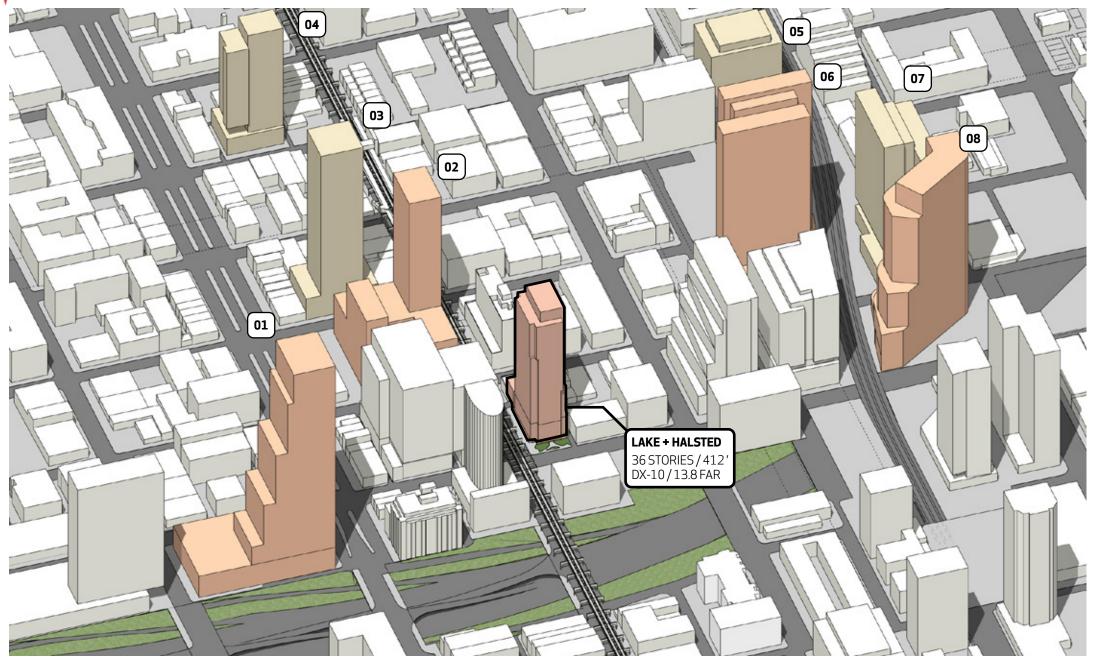






AERIAL FROM NORTHEAST





CONTEXT KEY

PROPOSED PROJECTS

APPROVED PROJECTS

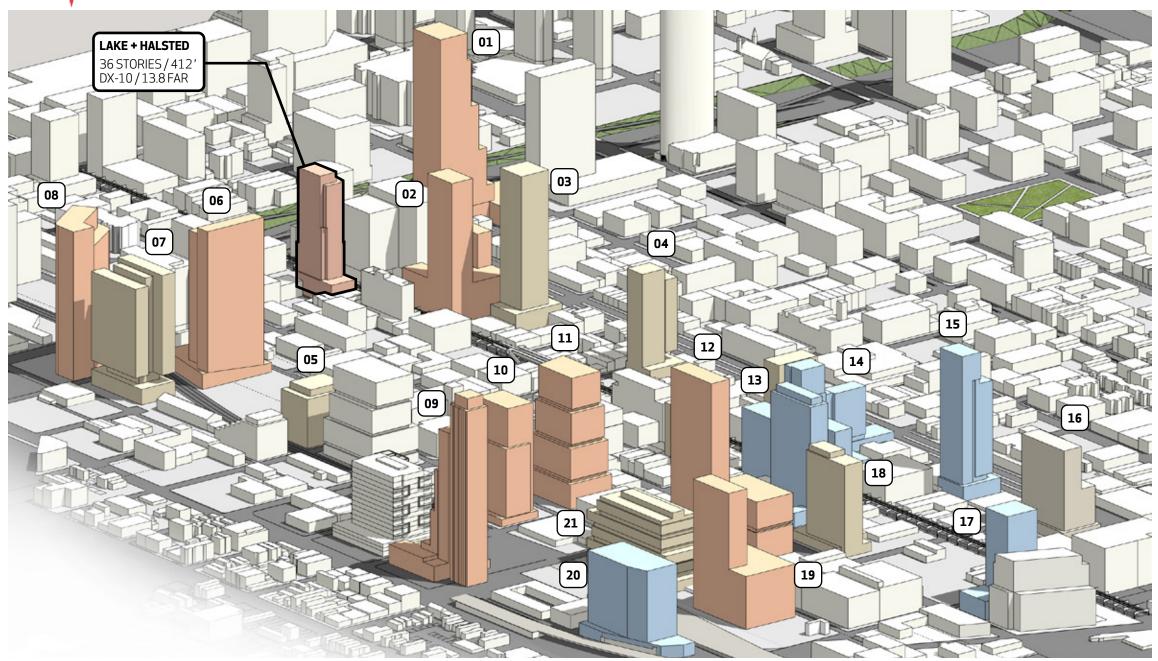
UNDER CONSTRUCTION

PROJECTS

01	725 W Randolph	621'
02	170 N Green	455'
03	900 W Randolph	495'
04	160 N Morgan	350'
05	345 N Morgan	178'
06	330 N Green	503'
07	360 N Green	399'
80	357 N Green	479'

AERIAL FROM SOUTHEAST





CONTEXT KEY

PROPOSED PROJECTS

APPROVED PROJECTS

UNDER CONSTRUCTION

PROJECTS

01 02 03 04 05 06 07	725 W Randolph 170 N Green 900 W Randolph 160 N Morgan 345 N Morgan 330 N Green 360 N Green	621' 455' 495' 350' 178' 503' 399' 479'
10	1112 W Carroll	370′
11	315 N May	410'
12	1200 W Fulton	708′
13	1215 W Fulton	368′
14	1150 W Lake	320′
15	1234 W Randolph	460'
16	160 N Elizabeth	293′
17	1353 W Fulton	314′
18	225 N Elizbeth	300'
19	1300 W Carroll	418′
20	400 N Elizabeth	270′
21	1200 W Carroll	227'

AERIAL FROM SOUTHEAST



05 06 01 02 03 04 07 08 LAKE + HALSTED 36 STORIES / 412' DX-10 / 13.8 FAR

CONTEXT KEY

PROPOSED PROJECTS

APPROVED PROJECTS

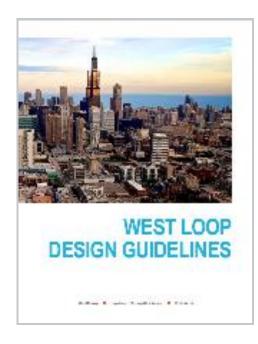
UNDER CONSTRUCTION

PROJECTS

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CONTEXT ELEVATION





West Loop Design Guidelines

City of Chicago Department of Planning and Development, September 2017

 Assist in development and define standards to preserve character, high quality design, and dynamic nature of the West Loop neighborhood



Neighborhood Design Guidelines

City of Chicago Department of Planning and Development, September 2020

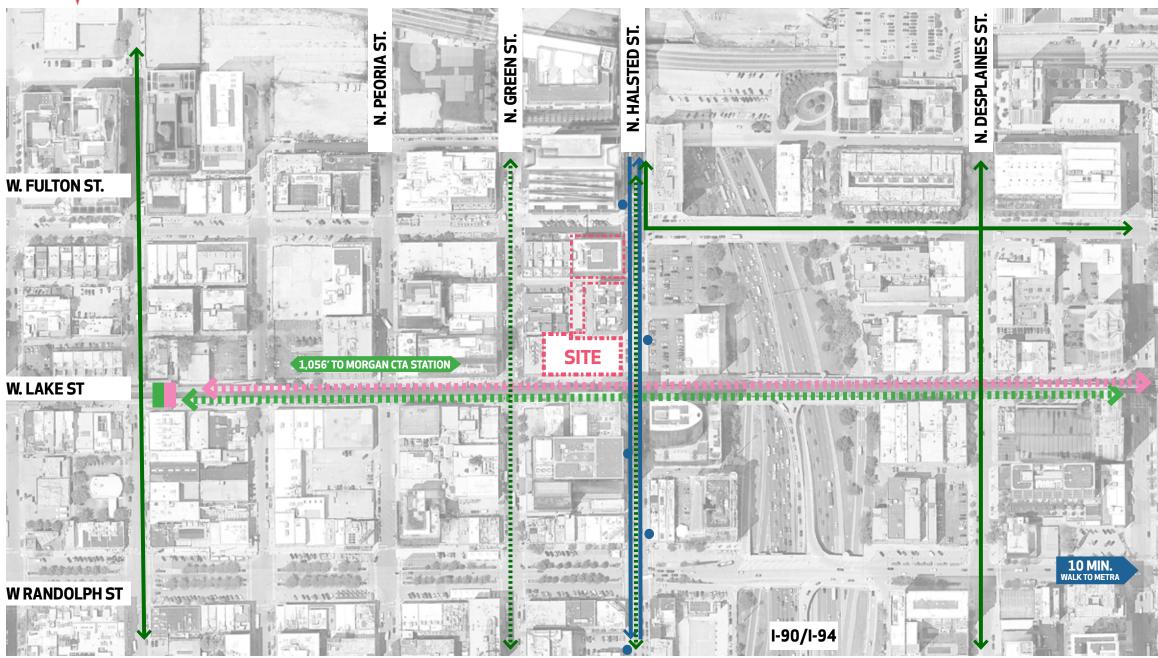
- Considers opportunities for re-purposing existing buildings, rather than building new.
- Provides visual buffers between on-site open spaces and adjacent incompatible land uses and/or views



Affordable Housing Description

All 81 affordable units shall be on-site; such units rent at a weighted average of no more than 60% AMI. In addition to the 81 affordable units, applicant shall use best efforts and work with the City in good faith to find a financially feasible scenario to provide an additional 41 affordable units either on -site or off-site within the FMID.





CONNECTIVITY SCORES

WALKING SCORE: **98**BIKING SCORE: **91**TRANSIT SCORE: **89**

TRANSIT KEY

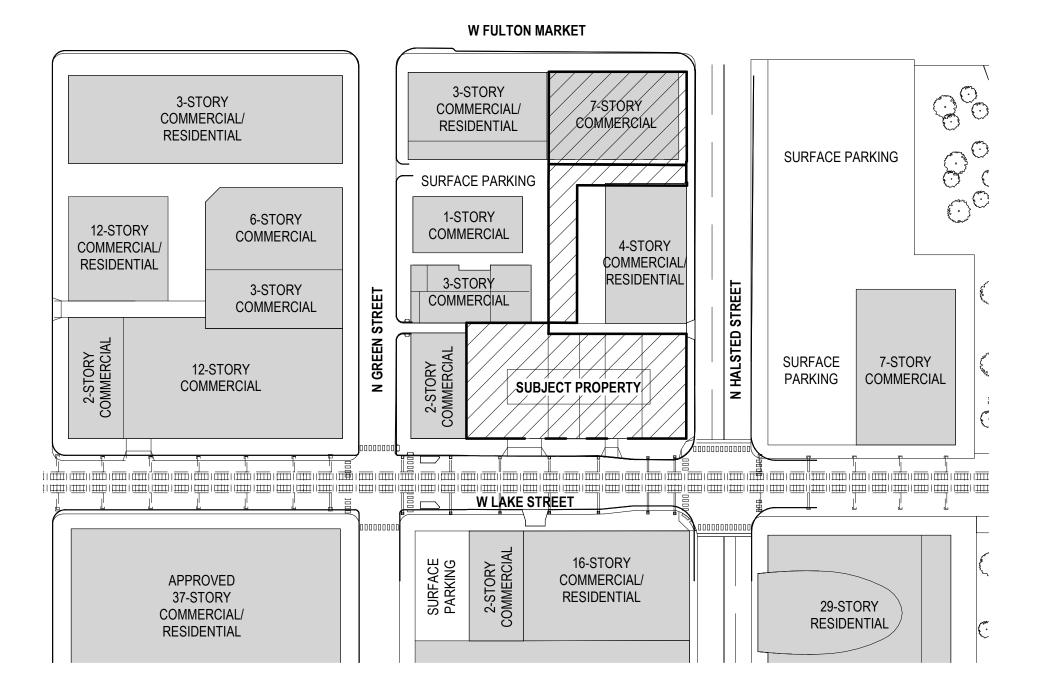
GREEN/PINK LINE CTA GREEN/PINK STATION ENTRANCE CTA BUS STOP CTA BUS ROUTE BIKE LANE



SITE MAP

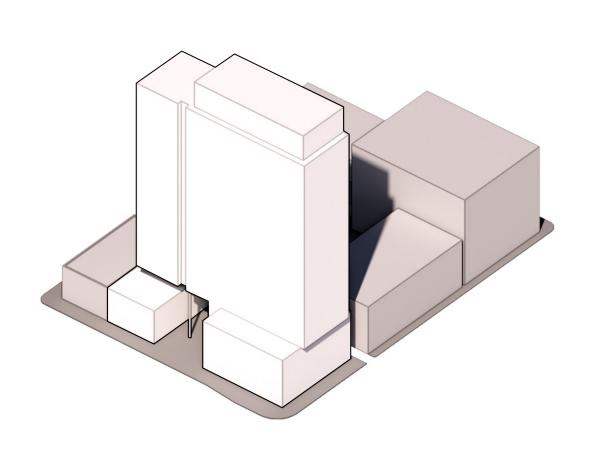


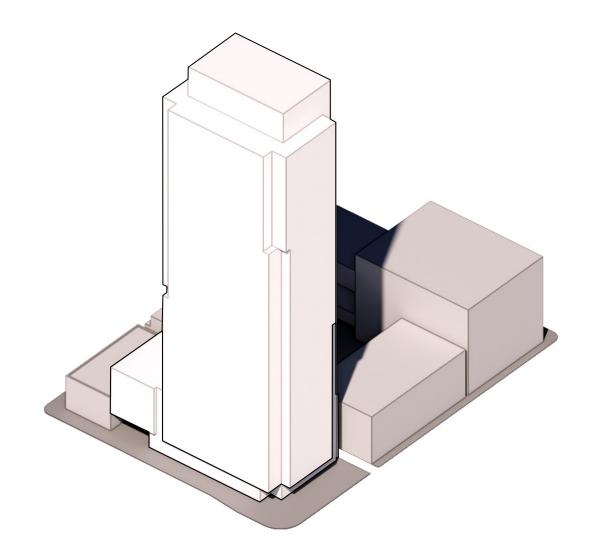












PREVIOUSLY APPROVED HOTEL MASSING

PROPOSED RESIDENTIAL MASSING



DESIGN OBJECTIVES

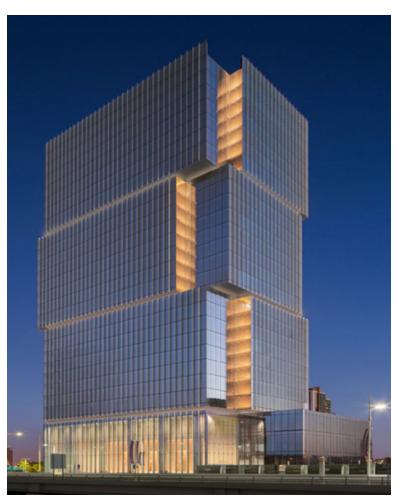
- Create sophisticated, iconic architecture consistent with the character of the West Loop.
- Emphasize verticality for a 'point tower' appearance, rather than the commonplace 'bar tower' massing.
- Modulate the tower corners for architectural interest and optionality in residential unit layouts.
- Promote a signature accent color to give the building a unique identity within the West Loop.



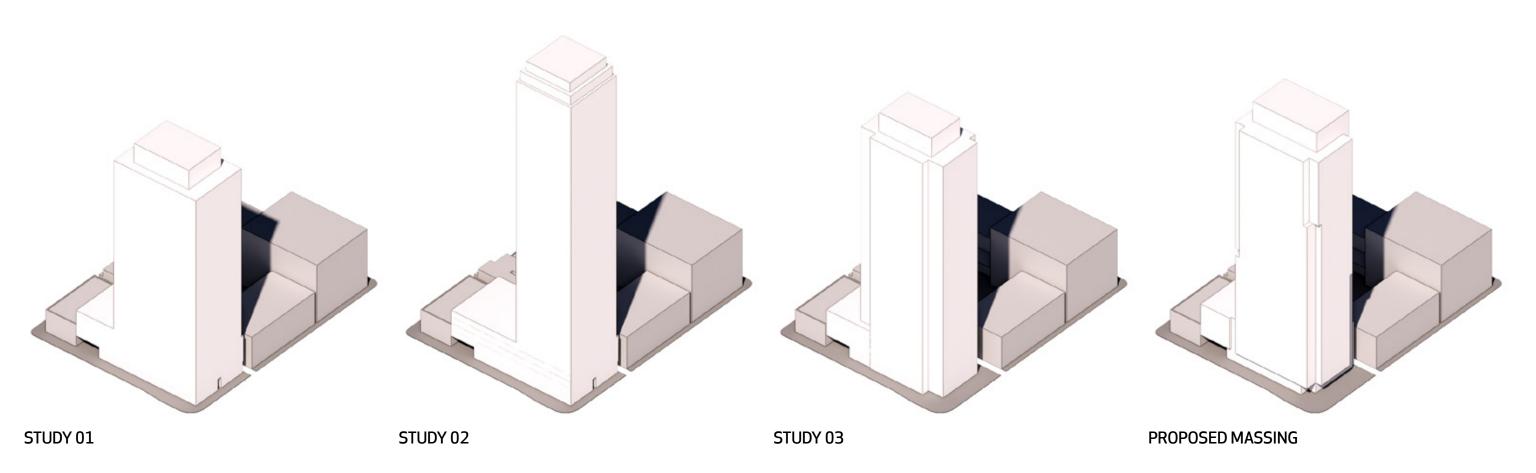


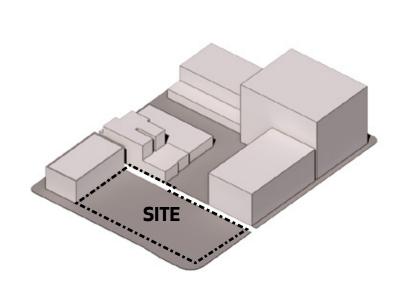




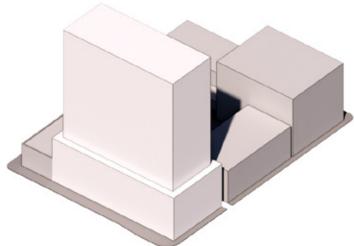




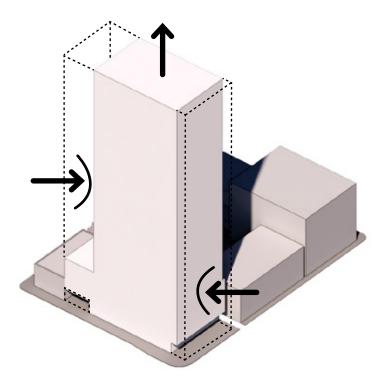




01 | SITE BOUNDARY

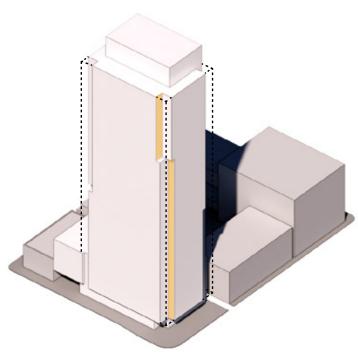


02 | BASIC VOLUMEMASSING EXTRUDES BASIC SHAPE OF THE SITE TO ACHIEVE PROJECTS PROGRAMMATIC REQUIREMENTS



03 | TOWER MASSINGRESIDENTIAL MASSING CONDENSED INTO TOWER AND PUSHED EAST FROM HALSTED

PARKING ENTRY CUT FROM PODIUM AND BASE RECESSED TO PROVIDE ADDITIONAL PUBLIC SPACE



04 | ARTICULATE FORMTOWER CORNERS RECESSED AND CROWN EXTEND TO REINFORCE VERTICAL EXPRESSION OF TOWER

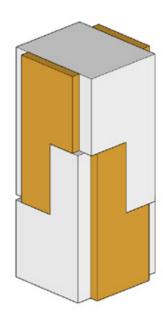
RECESSES CONTINUE INTO PODIUM TO UNIFY MASSING BETWEEN TOWER AND BASE

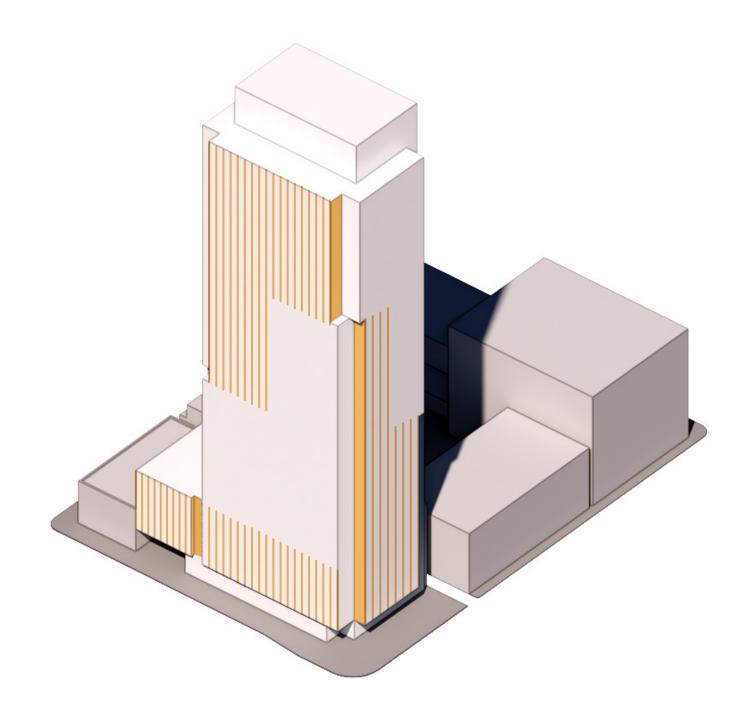


The facade is articulated with a bright accent color that stands in contrast to the glass window wall and serves as a beacon for the for residents and the city. The accent color overlays a formal articulation onto the mass and breaks it into a series of interlocked volumes.

This articulation is achieved with colored glazing that defines the corners of the tower and serve as anchors for the balconies in the residential units.

Connecting the corners, the accent color is repeated in the aluminum mullion caps. When viewed obliquely the mullion caps appear solid and announce the accent color. When viewed directly, the accent color fades away producing a dynamic shift of the volume from each unique vantage point in the city.







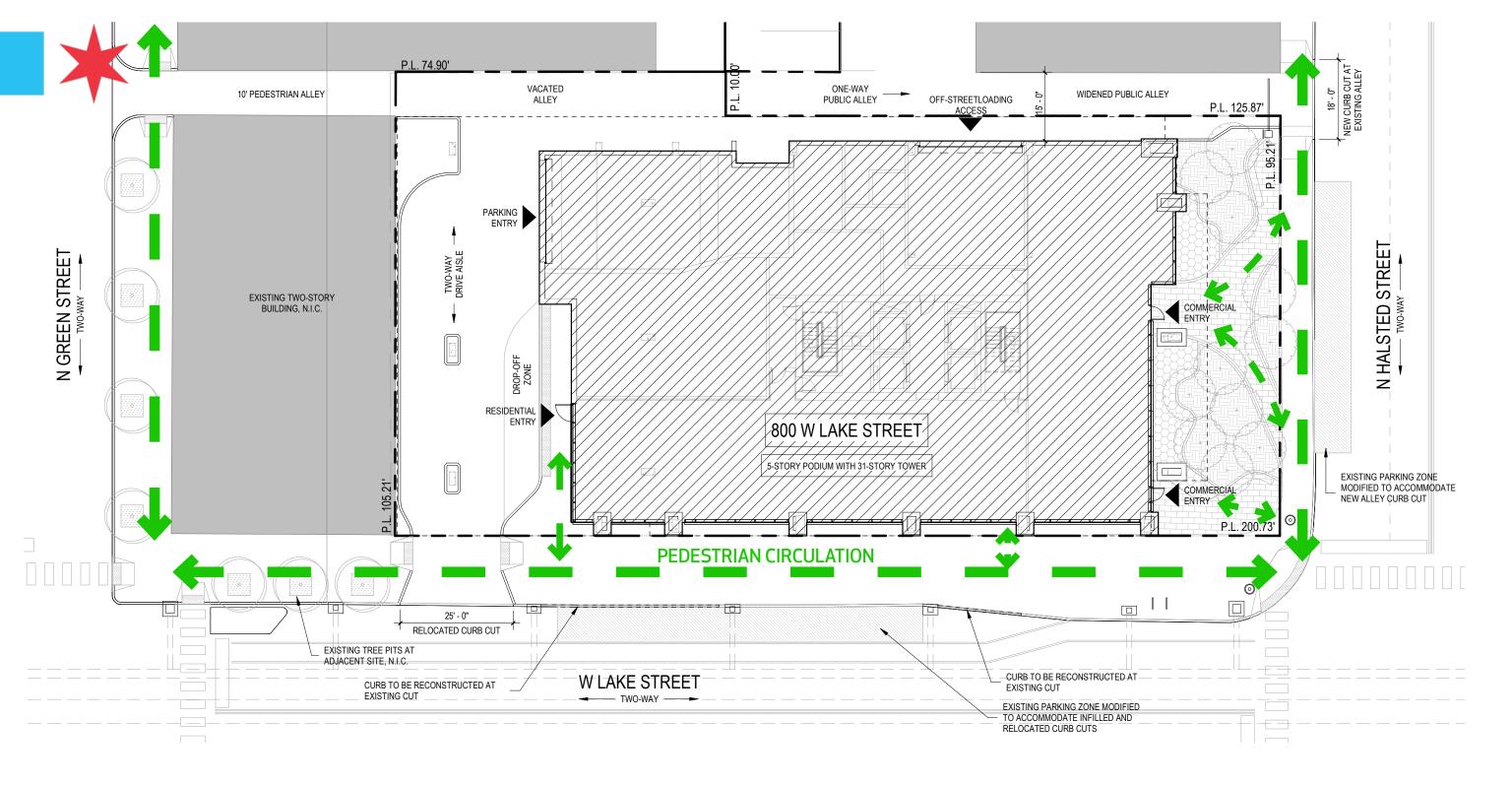


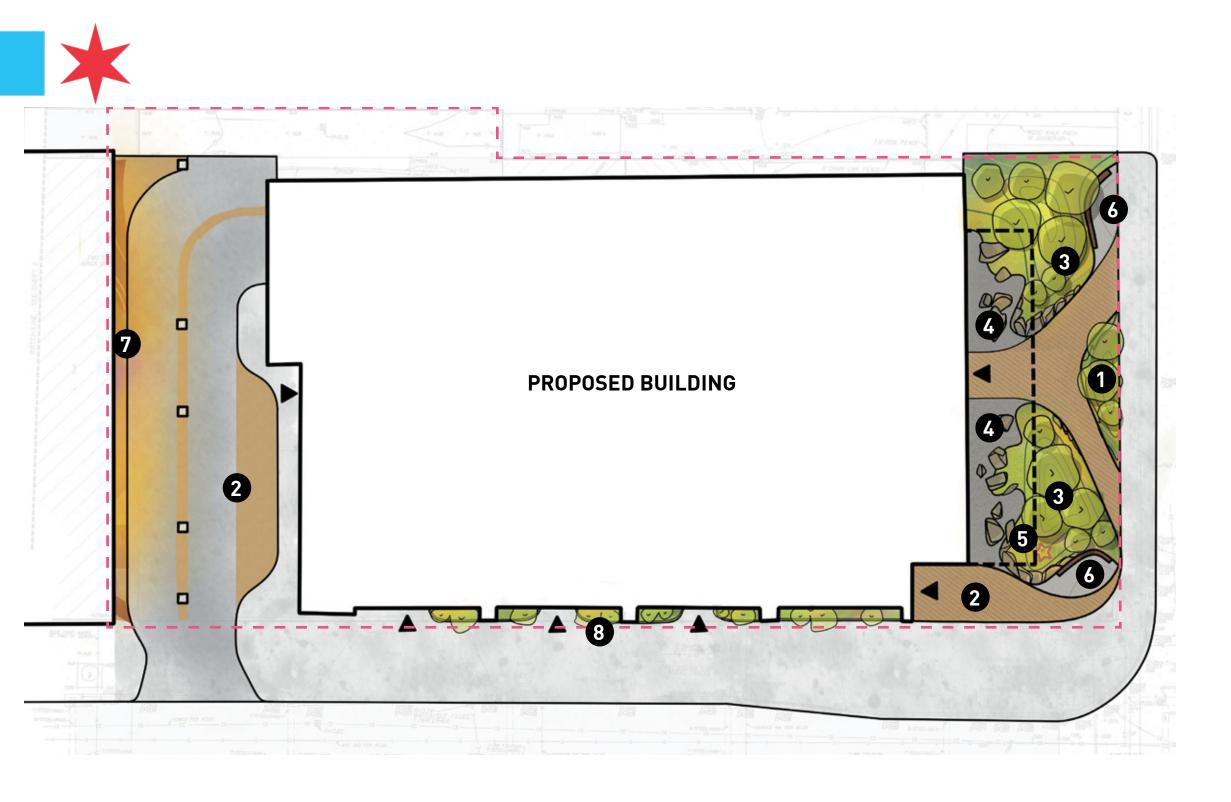
VIEW FROM EAST





VIEW FROM NORTHEAST





LEGEND:

- 1 Parkway plantings
- 2 Pavement bands
- 3 Aspen grove
- 4 Rock garden
- **5** Sculpture
- 6 Bench
- Existing Masonry Wall to Be Painted
- 8 Raised planters

















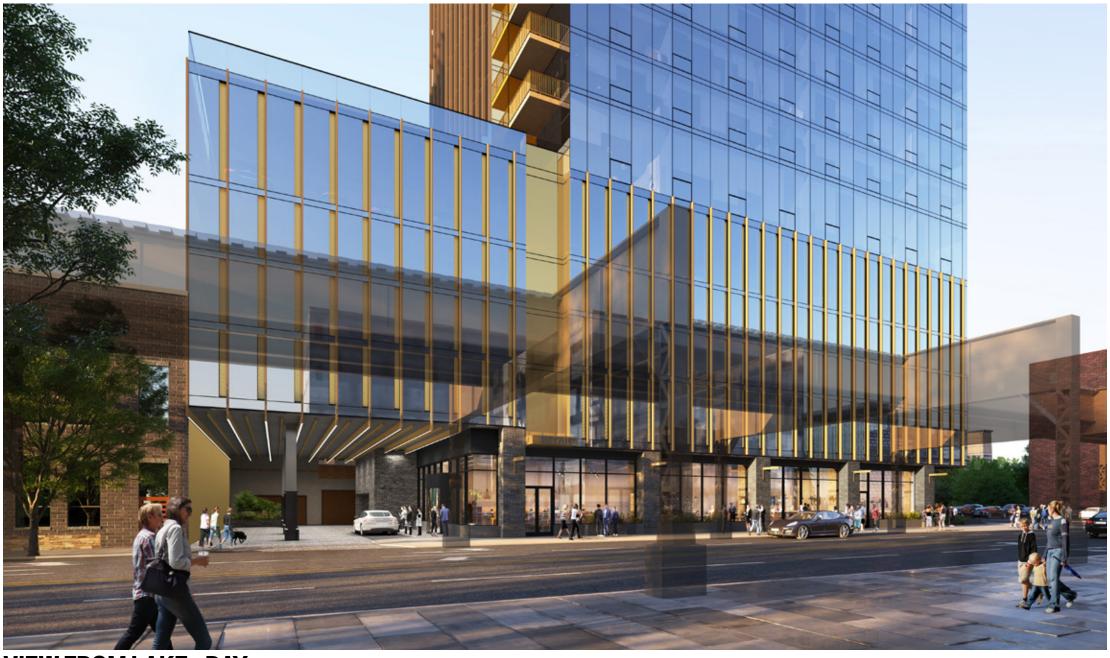






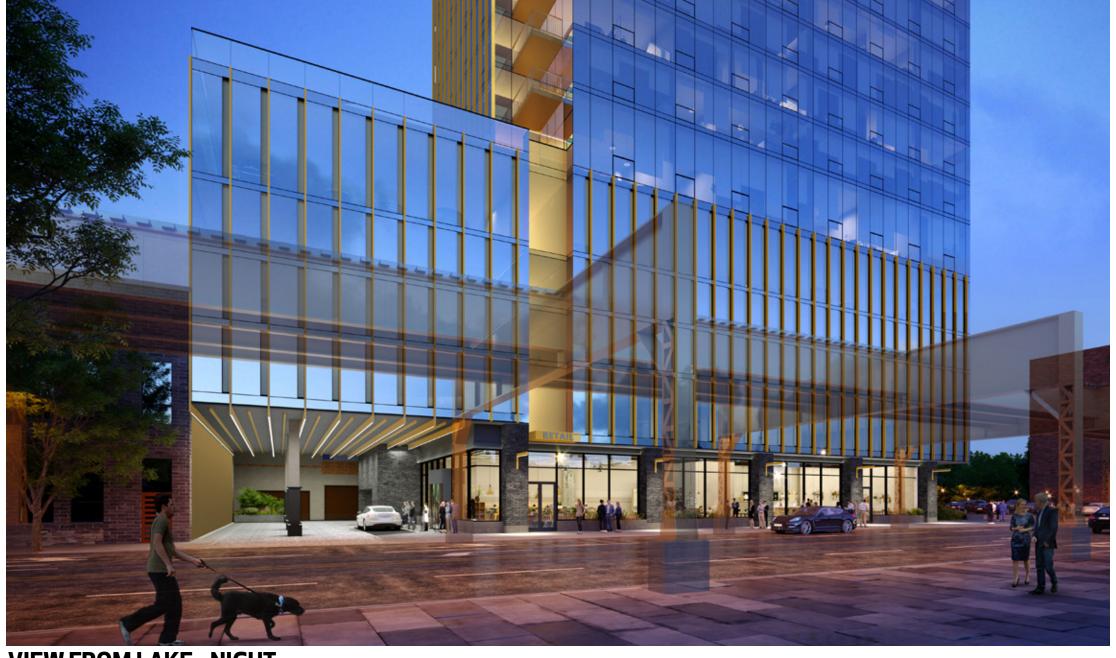
VIEW FROM HALSTED





VIEW FROM LAKE - DAY





VIEW FROM LAKE - NIGHT

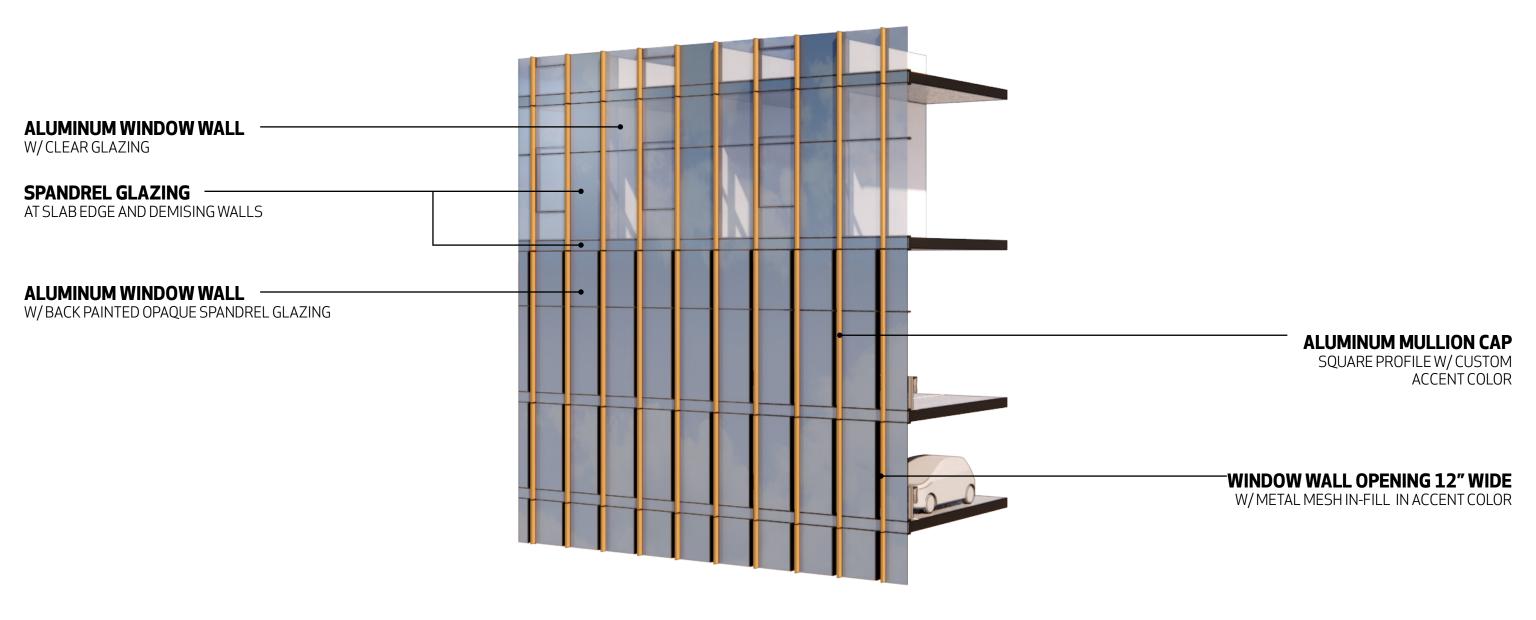




PORTE-COCHERE







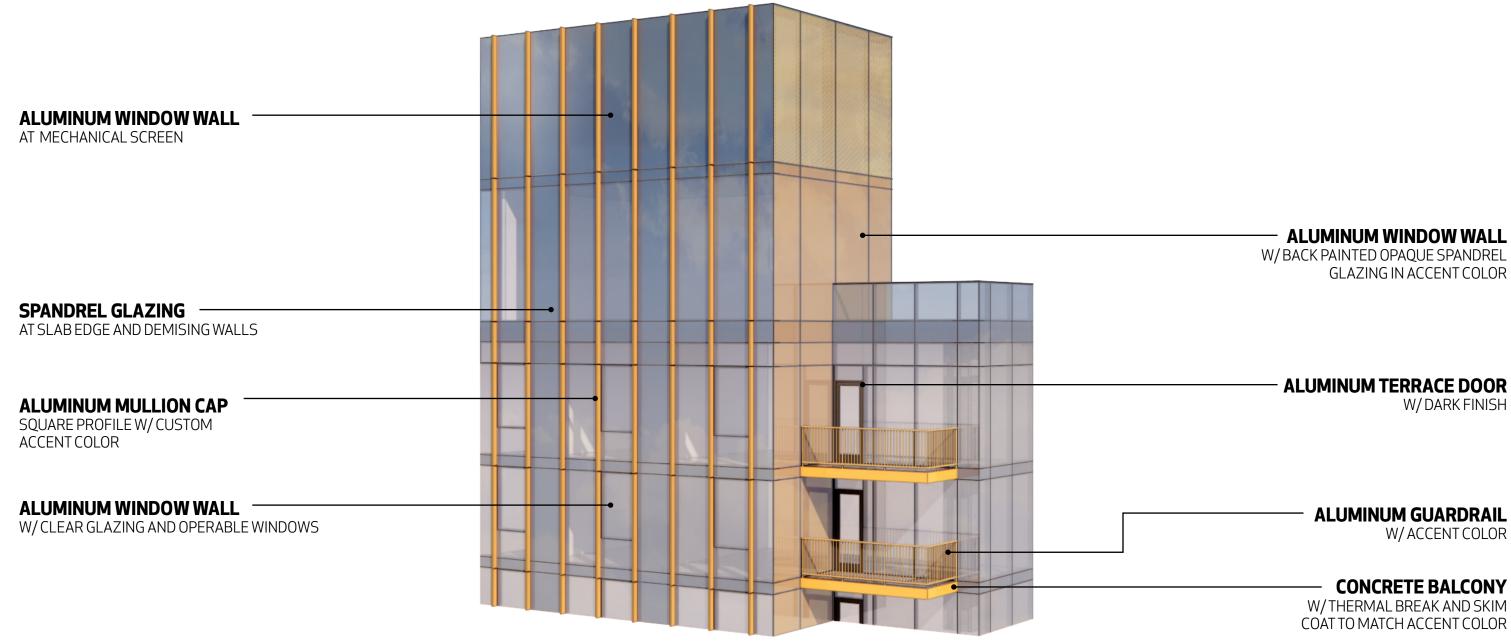
DESIGN CONCEPT



BALCONY SUMMARY

NUMBER OF BALCONIES: APPROX. 140 SIZE OF BALCONIES: APPROX. 6'-6" x 9' TOTAL AREA OF BALCONIES: 8,200 SF

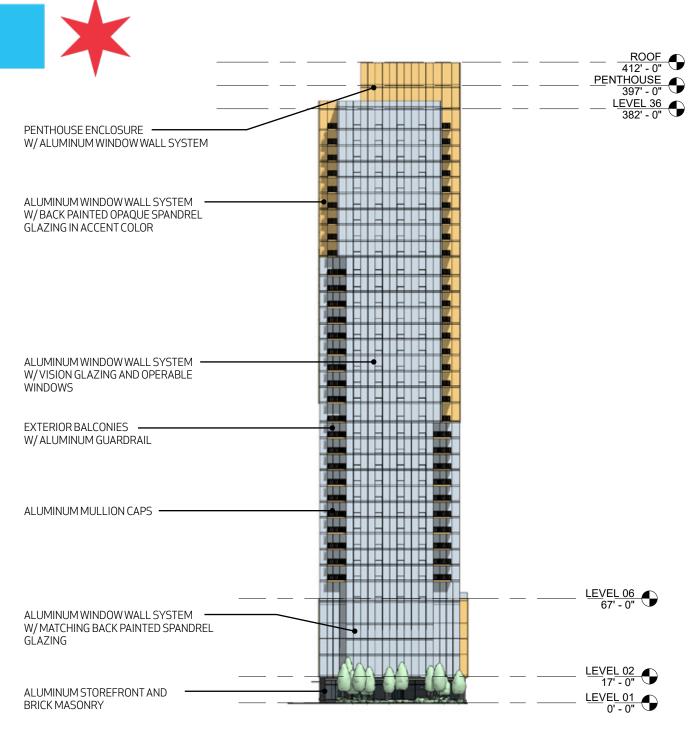








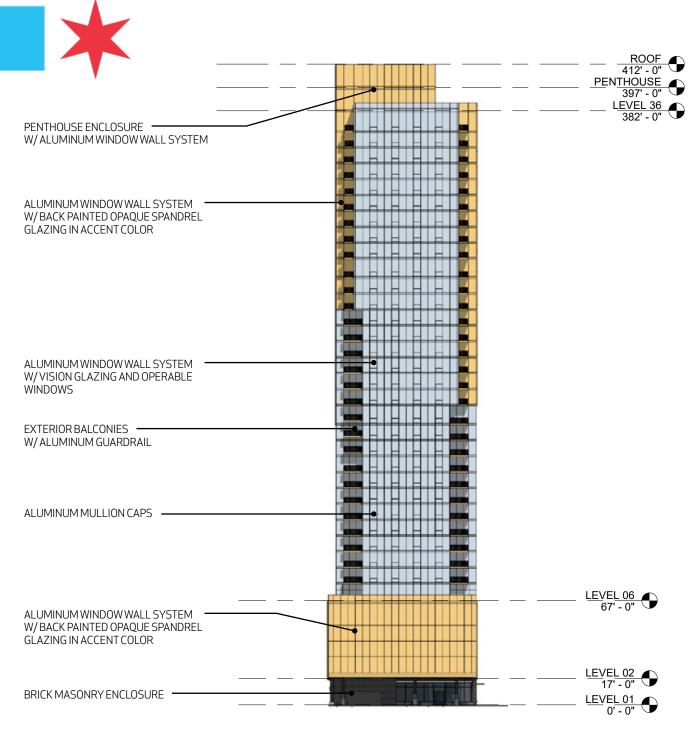
VIEW FROM WEST



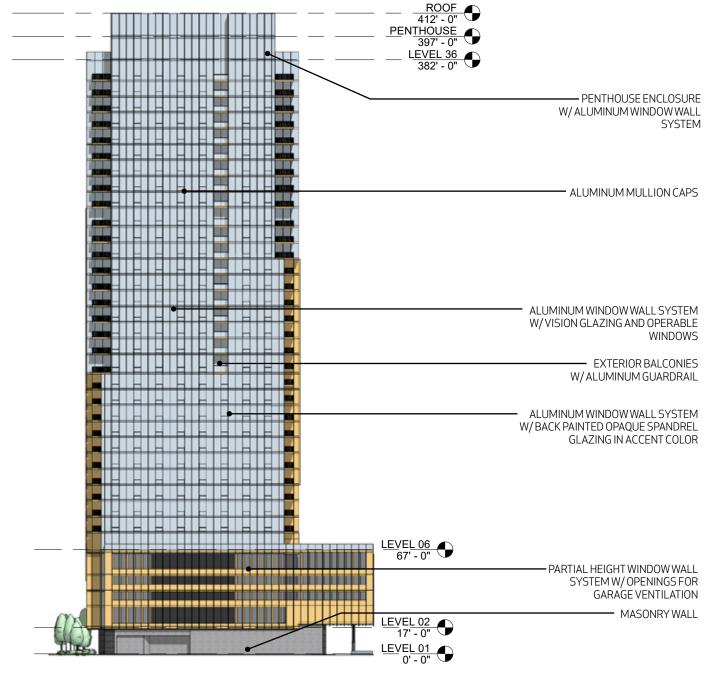
EAST ELEVATION

ROOF 412' - 0" PENTHOUSE 397' - 0" LEVEL 36 382' - 0" PENTHOUSE ENCLOSURE W/ ALUMINUM WINDOW WALL SYSTEM ALUMINUM MULLION CAPS ALUMINUM WINDOW WALL SYSTEM W/VISION GLAZING AND OPERABLE WINDOWS EXTERIOR BALCONIES W/ ALUMINUM GUARDRAIL ALUMINUM WINDOW WALL SYSTEM W/BACK PAINTED OPAQUE SPANDREL **GLAZING IN ACCENT COLOR** LEVEL 06 67' - 0" ALUMINUM WINDOW WALL SYSTEM W/MATCHING BACK PAINTED SPANDREL **GLAZING AND METAL SCREEN** ALUMINUM STOREFRONT AND LEVEL 02 17' - 0" **BRICK MASONRY** LEVEL 01 0' - 0"

SOUTH ELEVATION



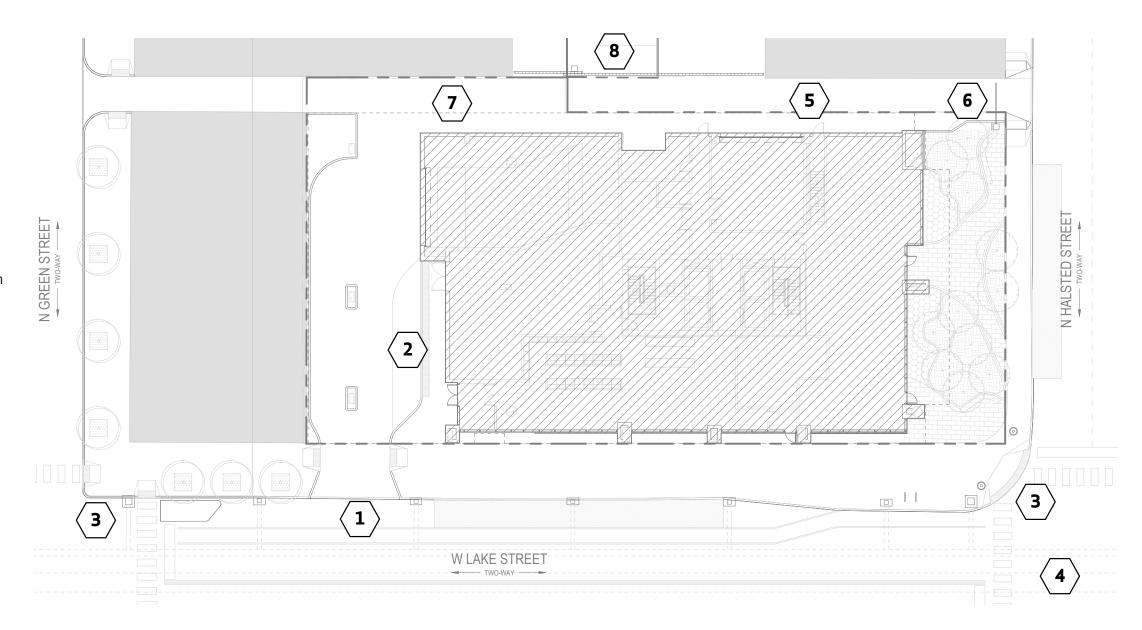




NORTH ELEVATION

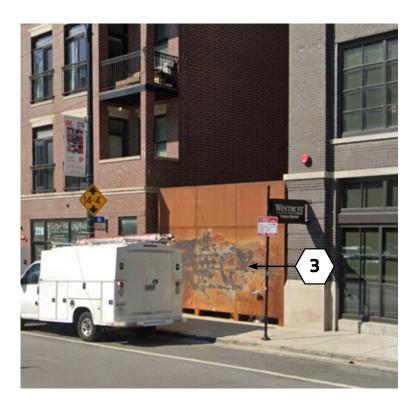


- $\left\langle \mathbf{1} \right\rangle$ Reduce number of curb cuts on Lake St. from 2 to 1
- Accommodate all drop-offs and pick-ups on site via multi-lane auto court to allow circulation and adequate stacking without impacting Lake or Halsted Streets
- Reconstruct site ramps and curbs to meet CDOT Standards
- Upgrade traffic signals to provide northbound / southbound left turn arrows, countdown pedestrian signals, and leading pedestrian intervals (LPIs)
- Public alley widened from 10' to 15'. Alley to be resurfaced to CDOT Standards
- Post a 'No Left Turn' sign at back alley to restrict exiting traffic onto Halsted Street to right turns only. Post a 'Do Not Enter' sign on back of sign
- **7** Private alley to be resurfaced to CDOT Standards
- 8 New fence with motorized sliding gate on adjacent property

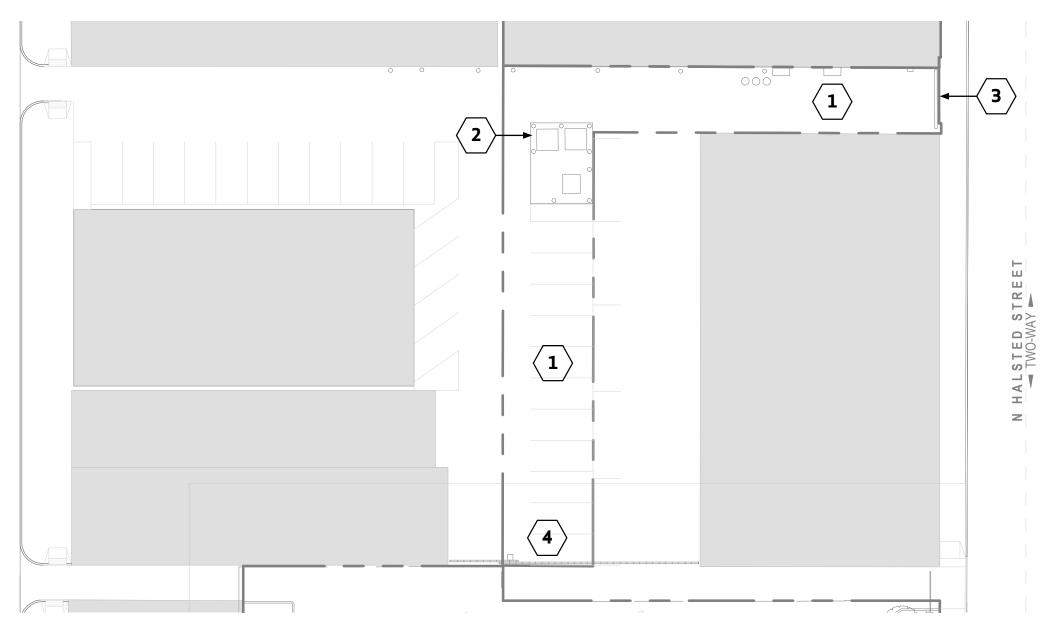




- **1** Alley to be resurfaced to CDOT Standards
- $\langle \mathbf{2} \rangle$ Existing transformers on equipment pad to remain
- **3** Existing metal gate to be improved with artwork
- New fence with motorized gate on adjacent property

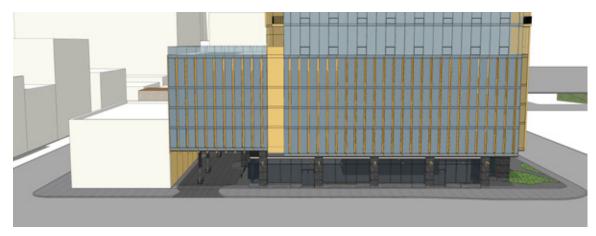


N GREEN STREET TWO-WAY





1.2.5 Blank walls are to be avoided and primary building facades must incorporate storefront window design or entryways that provide continuous visibility to the street.

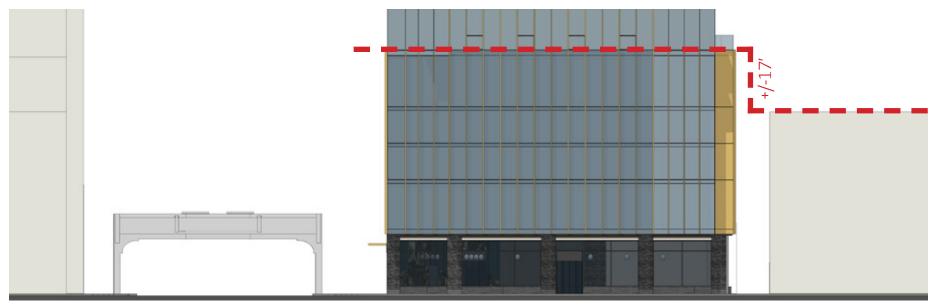




W LAKE ST N HALSTED ST

The primary building facades along Lake and Halsted Streets will incorporate generous storefront windows to provide visibility to the street.

1.3.1 With high density buildings, step the base to be compatible in height with adjacent lower scale buildings.



N HALSTED ST

The base of the building has been established to complement the adjacent lower scale building along Halsted St.

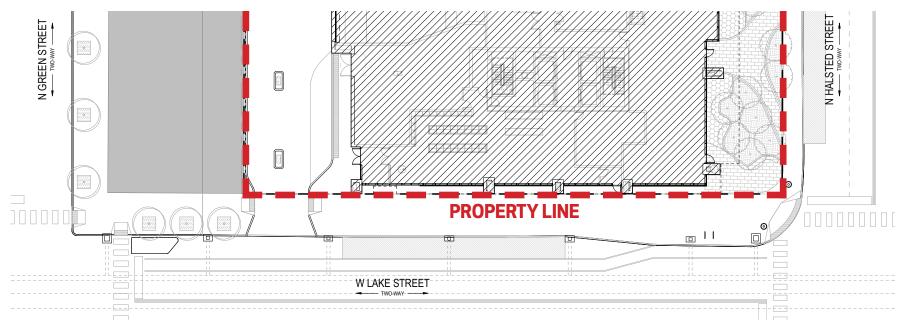


1.6.3 Materials should be compatible with the existing buildings and with the district in general, regarding character, color, and texture. New buildings and additions may employ alternative materials, including high quality glass, metal, concrete, and wood materials that complement and maintain a design vocabulary and scale that is appropriate to street block face and district.

2.1.1 Strengthen the streetwall by positioning the base of the building at the property line.



Materials and textures pull inspiration from the historic character of the West Loop while relating to the developing fabric of the neighborhood.



The base of the building along W Lake Street will be positioned at the property line to strengthen the streetwall.

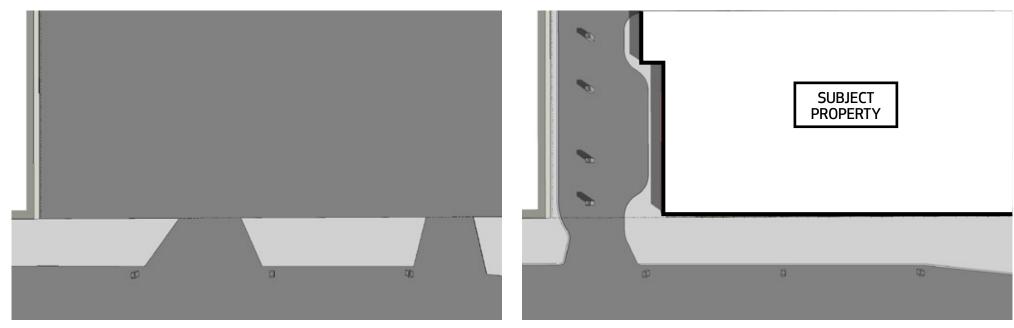


2.1.2 Set back the tower portion of the building away from the street. Where possible, provide an upper level set-back to respect the existing scale of the street.



The building tower has been intentionally set back on both sides to respect the scale of both Lake and Halsted.

3.1.2 Reduce and combine curb cuts for large scale developments on these arterial corridors to help improve the public realm experience and reduce vehicular conflicts with pedestrians.



EXISTING CURB CUTS

PROPOSED SINGLE CURB CUT

The two existing curb cuts will be combined to improve the public realm experience and reduce vehicular conflicts with pedestrians. The single curb cut is further removed from the Lake St and Halsted St intersection for improved safety.



3.1.4 Due to the relatively narrow sidewalk conditions along these high traffic corridors, large developments should incorporate strategic set backs to provide space for additional streetscape and trees along the public realm.

3.5.1 Enhanced ground floor building facade lighting is encouraged along Lake Street.



A strategic set back is proposed along Halsted Street to increase the size of the sidewalks due to adjacency with the high traffic corridor.

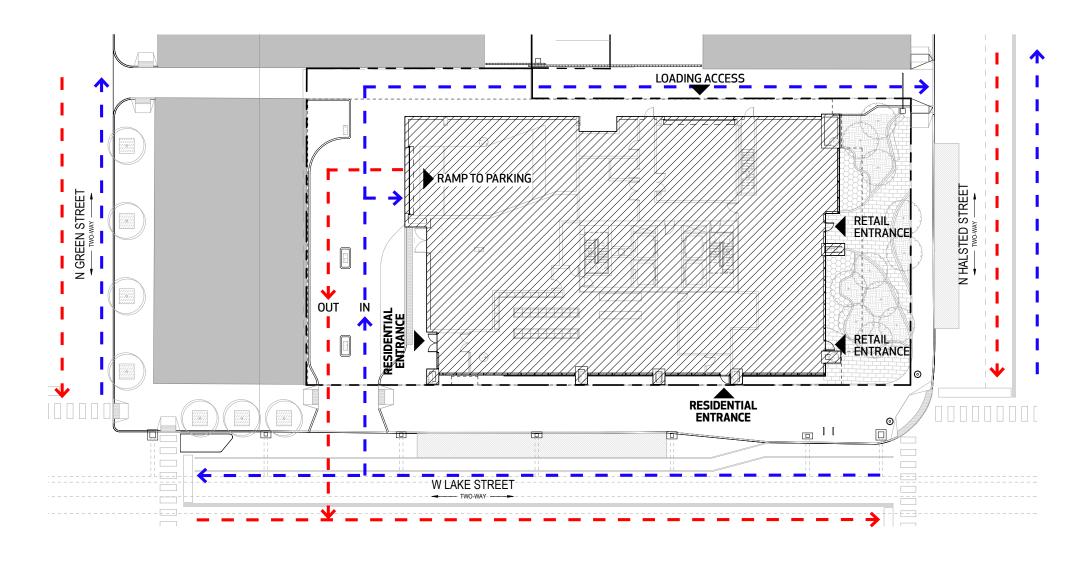
New landscaping plans and lighting are also planned for Lake Street to improve the existing streetscape.



A lighting concept has been established along Lake Street to illuminate the building and streetscape for pedestrians.



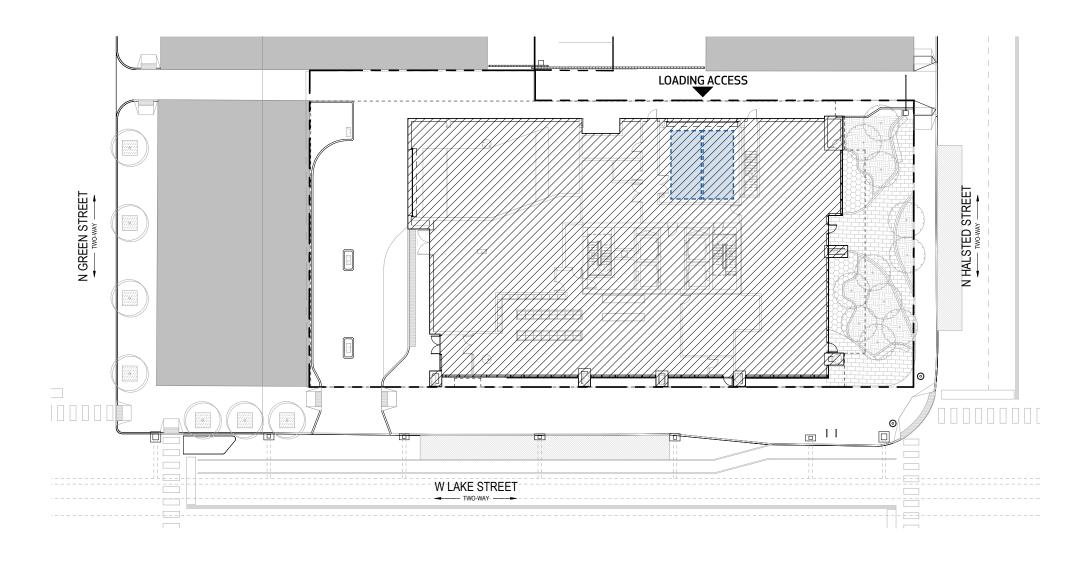
4.3.3 Follow applicable City of Chicago Design Standards (CDOT Streetscape Design Standards, Guide to the Chicago Landscape Ordinance, CDOT Street and Site Plan Design Standards and City of Chicago Sidewalk Cafe Requirements).



GREC will work to implement CDOT requirements and recommendations related to vehicular and site plan access.

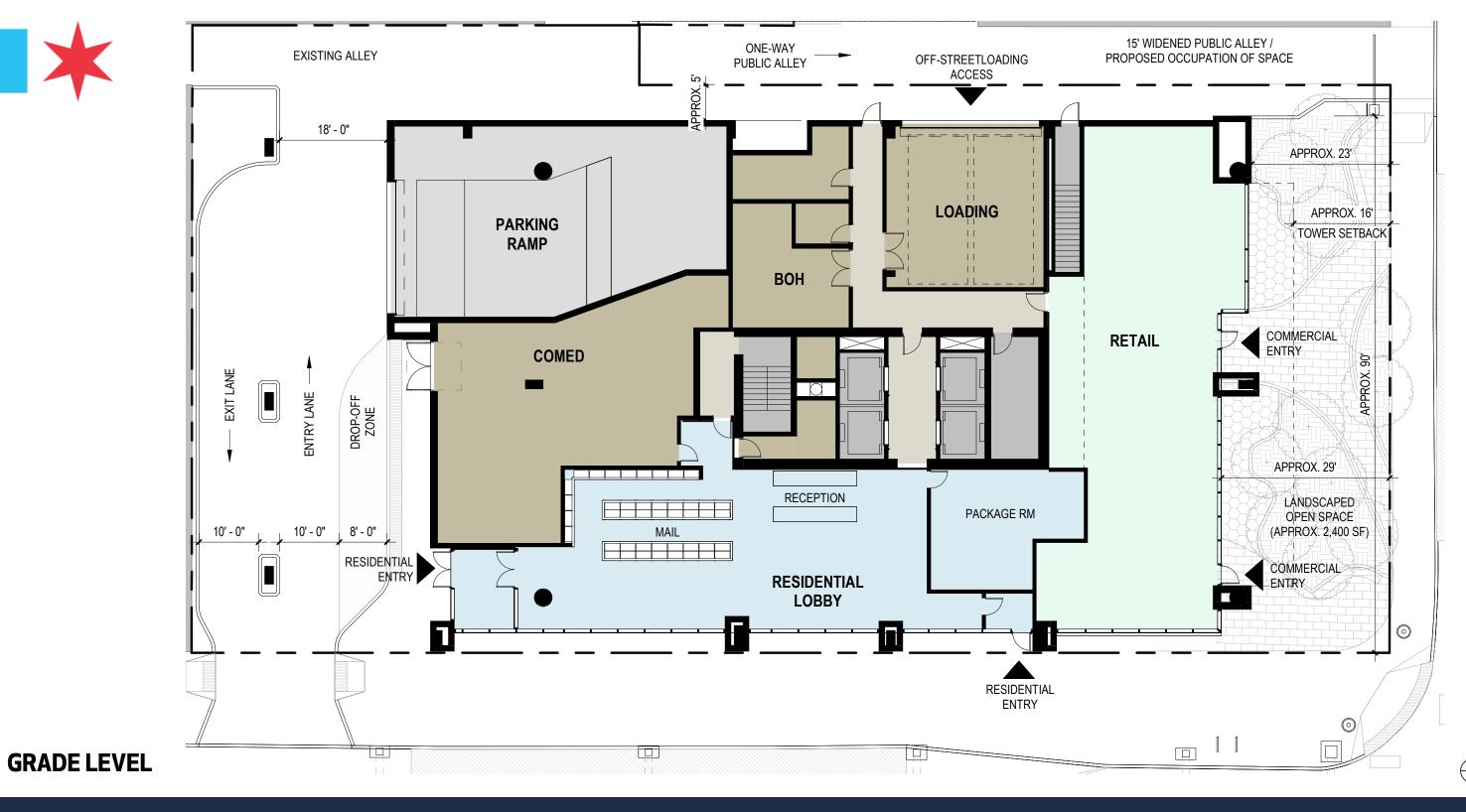


5.1.1 Locate loading docks off the public alley to minimize pedestrian conflicts where feasible. Where public alley access is not feasible, locate loading dock access on the adjoining side street.



Loading dock will be located on north side of site along a public alleyway to conceal from public view. Loading trucks will be entering a private driveway from Lake Street to access loading dock and exit using Halsted Street.









LEVEL 02



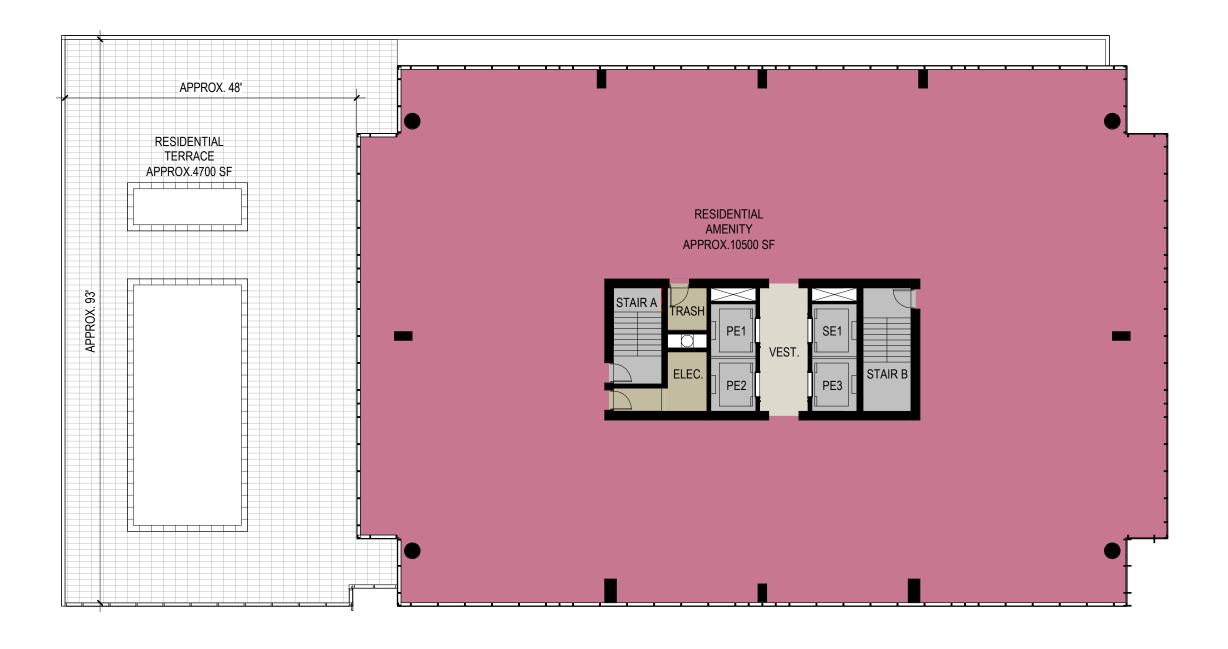




LEVEL 03-05



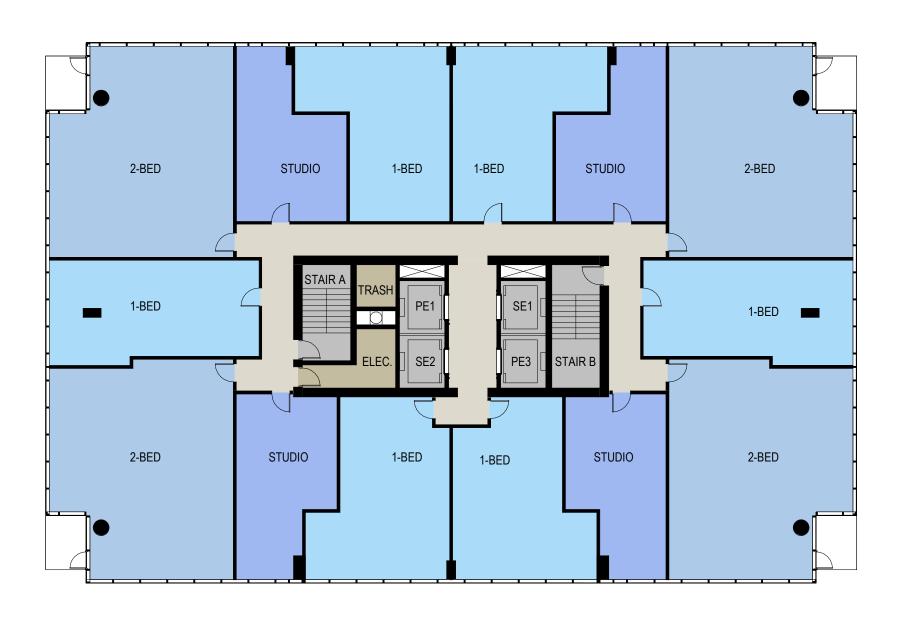




LEVEL 06



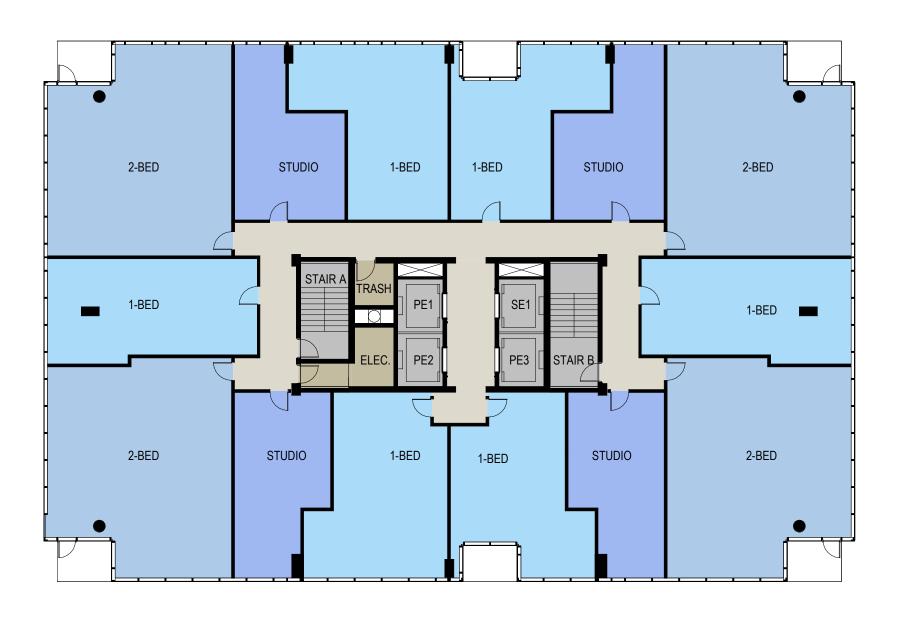




TOWER LOWER TIER







TOWER UPPER TIER





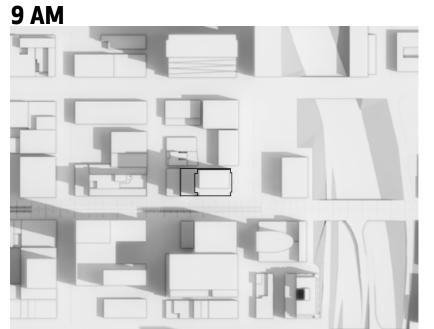


LEVEL 36





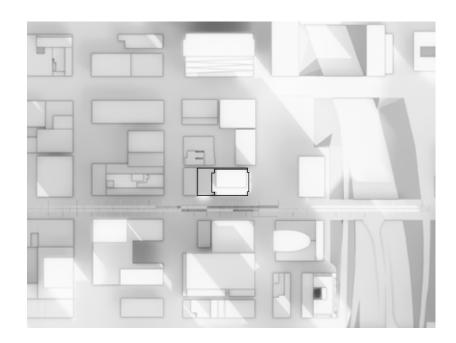
JUNE 21stSummer Solstice

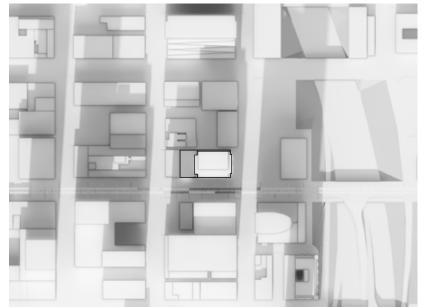






DECEMBER 21stWinter Solstice









Compliance Options	Point	s Required		Sustainable Strategies Menu																															
		Starting Points Number of Optional Points Required New Construction / Substantial Rehab / Moderate Rehab	Health	Energy						Stormwater						Landscapes			Green Roofs		Water		Transportation						Solid Waste	Work Force	Wile	llife			
			1.1 Achieve WELL Building Standard			Choo	Choose one		Choose one			choose or	e	2							Choos	se one	Choose one											Choose one	
Compliance Paths				2.1 Designed to earn the Energy Star	2.2 Exceed Energy Code (5%)	2.3 Exeed Energy Code (10%)	2.4 Exeed Energy Code (25%)	2.5 Exeed Energy Code (40%)	2.6 Onsite Renewable Energy (3%)	2.7 Onsite Renewable Energy (5%)	3.1 Exceed Stormwater Ordinance by 25%	3.2 Exceed Stormwater Ordinance by 50%	3.3 100% Stormwater Infiltration	3.4 Sump Pump Capture & Reuse	3.5 100-year detention for lot-to-lot buldings	3.6 100-year Detention for Bypass	4.1 Working Landscapes	1.2 Natural Landscapes	1.3 Tree Planting	4.4 Achieve Sustainable Sites Certification	5.1 Green Roof 50-100%	5.2 Green Roof 100%	6.1 Indoor Water Use Reduction (25%)	6.2 Indoor Water Use Reduction (40%)	7.1 Proximity to Transit Service	7.2 Bikeshare Sponsorship	7.3 Bike Parking Residential	7.4 Bike Parking Commercial & Industrial	7.5 EV Charging Stations	7.6 EV Charger Readiness	7.7 CTA Digital Displays	8.1 80% Waste Diversion	8.2 Workforce Development	9.1 Bird Protection (Basic)	9.2 Bird Protection (Enhanced)
Options Without Certification All Options Available	0	100 / 50 / 25	40	30	20	30	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	10	5	5	10	10	5	10
Options With Certification	Ů	1007 007 20	70	00	20	30	40	30	10	20	10		10		Ů	Ů			J	20	10	20	10	20	J	<u> </u>	J	J	10	J	J	10	10	-	10
LEED Platinum	95	5/0/0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	NA	10	5	10
LEED Gold	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10
LEED Silver	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	NA	20	NA	5	NA	NA	10	5	5	10	10	5	10
Green Globes 4-Globes	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10
Green Globes 3-Globes	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10
Green Globes 2-Globes	70	30 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	NA	20	NA	5	NA	NA	10	5	5	10	10	5	10
Living Building Challenge	100	0/0/0	40	NA	NA	NA	NA NA	NA	NA NA	NA	10	20	40	5	5	5	NA	NA	NA	20	NA	NA	NA	NA	NA	NA	NA	NA	10	5	NA	NA	10	5	10
Living Building Challenge Petal	90	10 / 0 / 0	40	NA	20	30	40	50	NA	NA	10	20	40	5	5	5	5	NA	5	20	10	20	10	20	NA	5	NA	NA	10	5	5	10	10	5	10
Enterprise Green Communities*	80	20 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	NA	NA	10	5	5	10	10	5	10
PassiveHouse	70	30 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	10	5	5	10	10	5	10
*only available to affordable housing p	rojects f																																		

CITY OF CHICAGO | 100 POINT PATH

SUSTAINABILITY GOALS

