



# **CHICAGO PLAN COMMISSION**

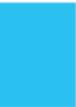
## **Department of Planning and Development**

**AMENDMENT TO INSTITUTIONAL PD #599**

**2933-47 W. Division St. (26<sup>th</sup> Ward/Ald. Roberto Maldonado)**

**Applicant: Humboldt Park Health**

3/17/2022



# Project Description

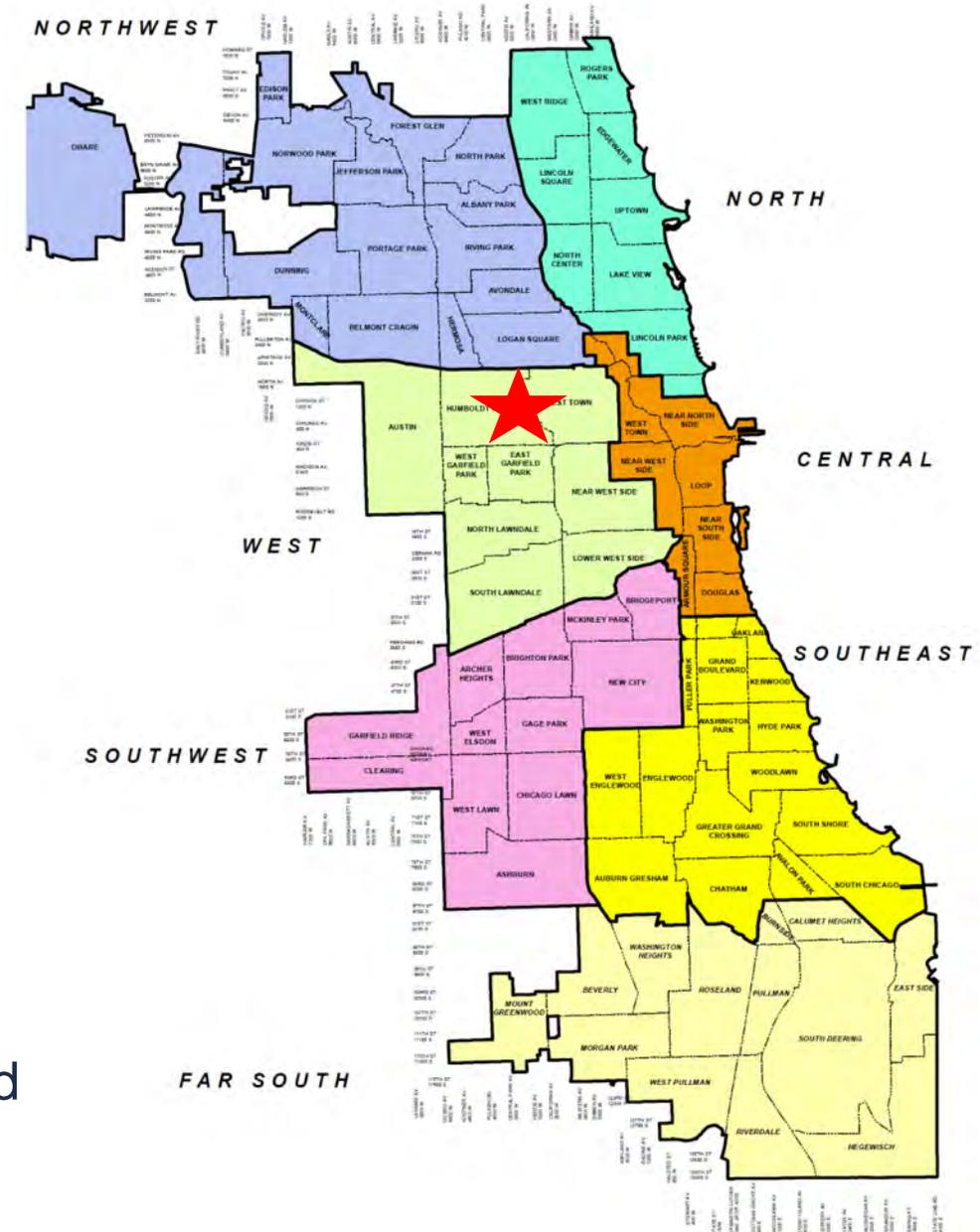
The Applicant is proposing the following:

- Revise the boundary of PD #599 – the location of Humboldt Park Health hospital, to **add 6,311 square feet to the net total site area and 10,092 square feet to the gross site area** by including the property at 2947 W. Division St. in the PD boundary.
- Rezone the site from Planned Development #599 and a RS-3 Residential Single-Unit (Detached House) District to a C1-2 Neighborhood Commercial District and then to PD #599, as amended.
- **Develop a 45,500 square foot, three-story wellness center** that will include a pool, fitness area, community room and outdoor terrace.

# ★ Community Area Profile

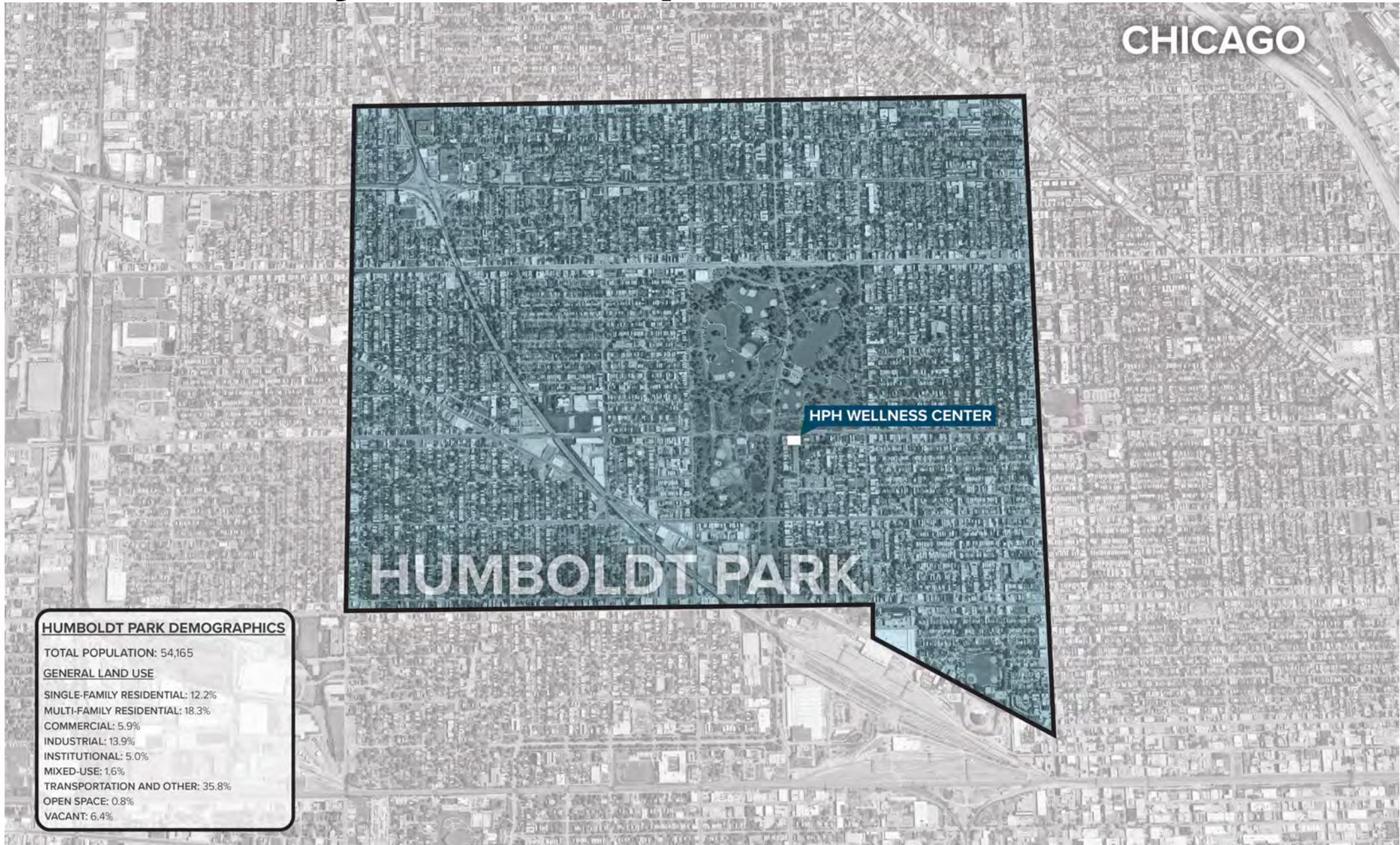
Humboldt Park:

- 54,165 residents (2020)
  - 3.8% decline from 2010-20
  - 17.7% decline from 2000-20
- 58.4% Latino, 32.0% Black, 7.7% White (2019)
- Educational attainment:
  - 29.0% Less than high school
  - 28.2% High school graduate
  - 20.6% Some college, no degree
- Median household income: \$39,492
- Housing: 62.5% renter-occupied, 37.5% owner-occupied





# Community Area Snap Shot



## HUMBOLDT PARK DEMOGRAPHICS

TOTAL POPULATION: 54,165

### GENERAL LAND USE

SINGLE-FAMILY RESIDENTIAL: 12.2%

MULTI-FAMILY RESIDENTIAL: 18.3%

COMMERCIAL: 5.9%

INDUSTRIAL: 13.9%

INSTITUTIONAL: 5.0%

MIXED-USE: 1.6%

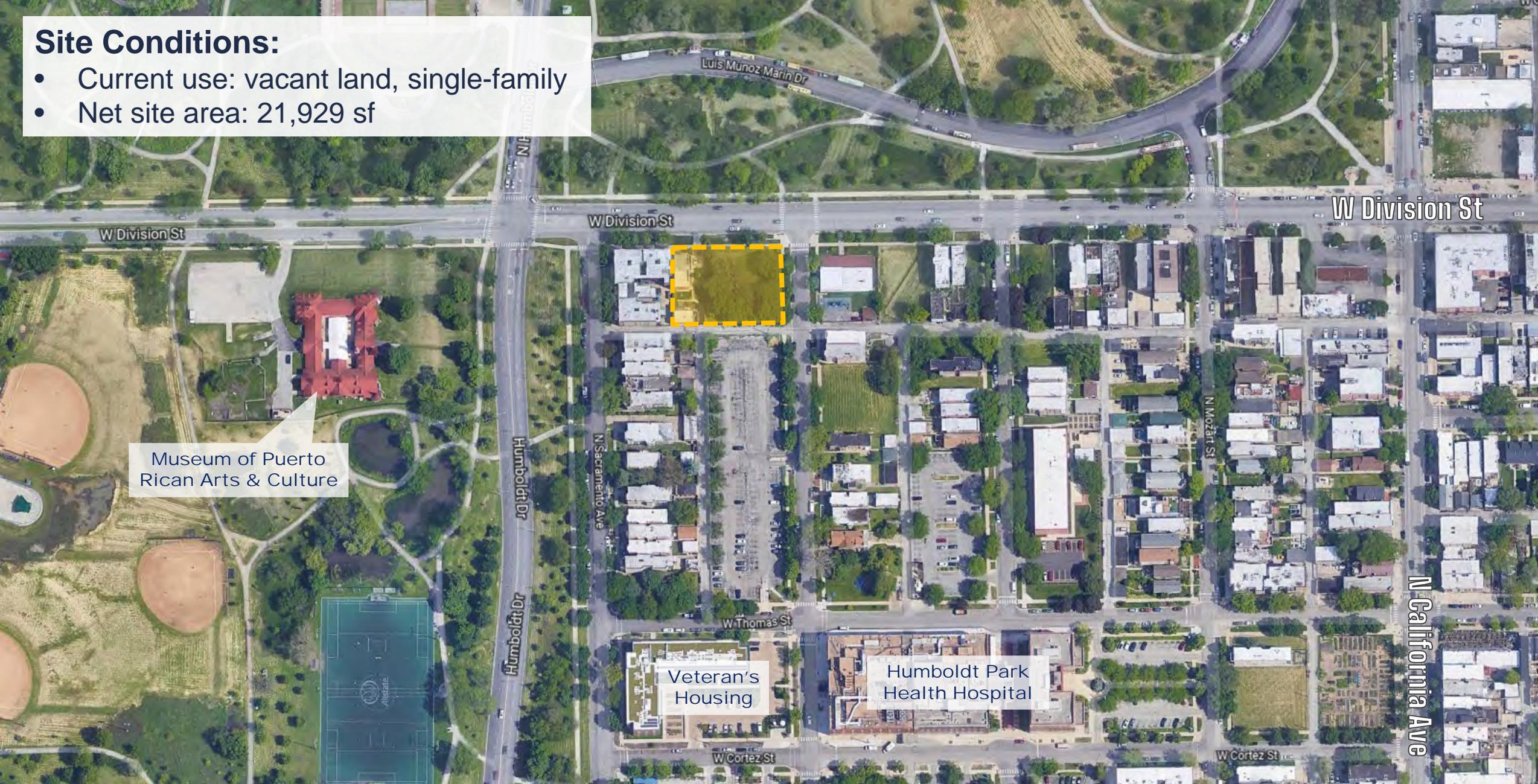
TRANSPORTATION AND OTHER: 35.8%

OPEN SPACE: 0.8%

VACANT: 6.4%

## Site Conditions:

- Current use: vacant land, single-family
- Net site area: 21,929 sf



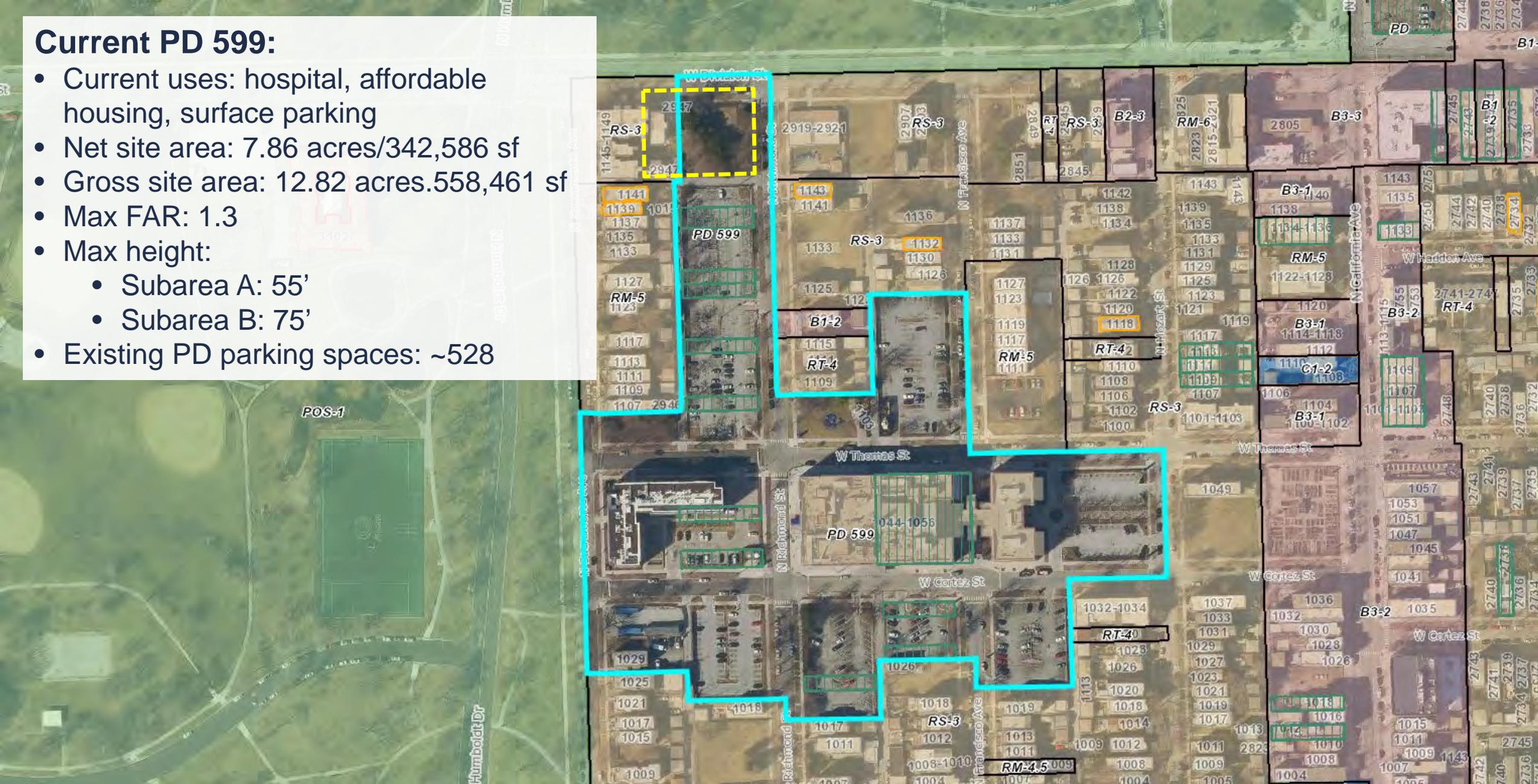
Museum of Puerto Rican Arts & Culture

Veteran's Housing

Humboldt Park Health Hospital

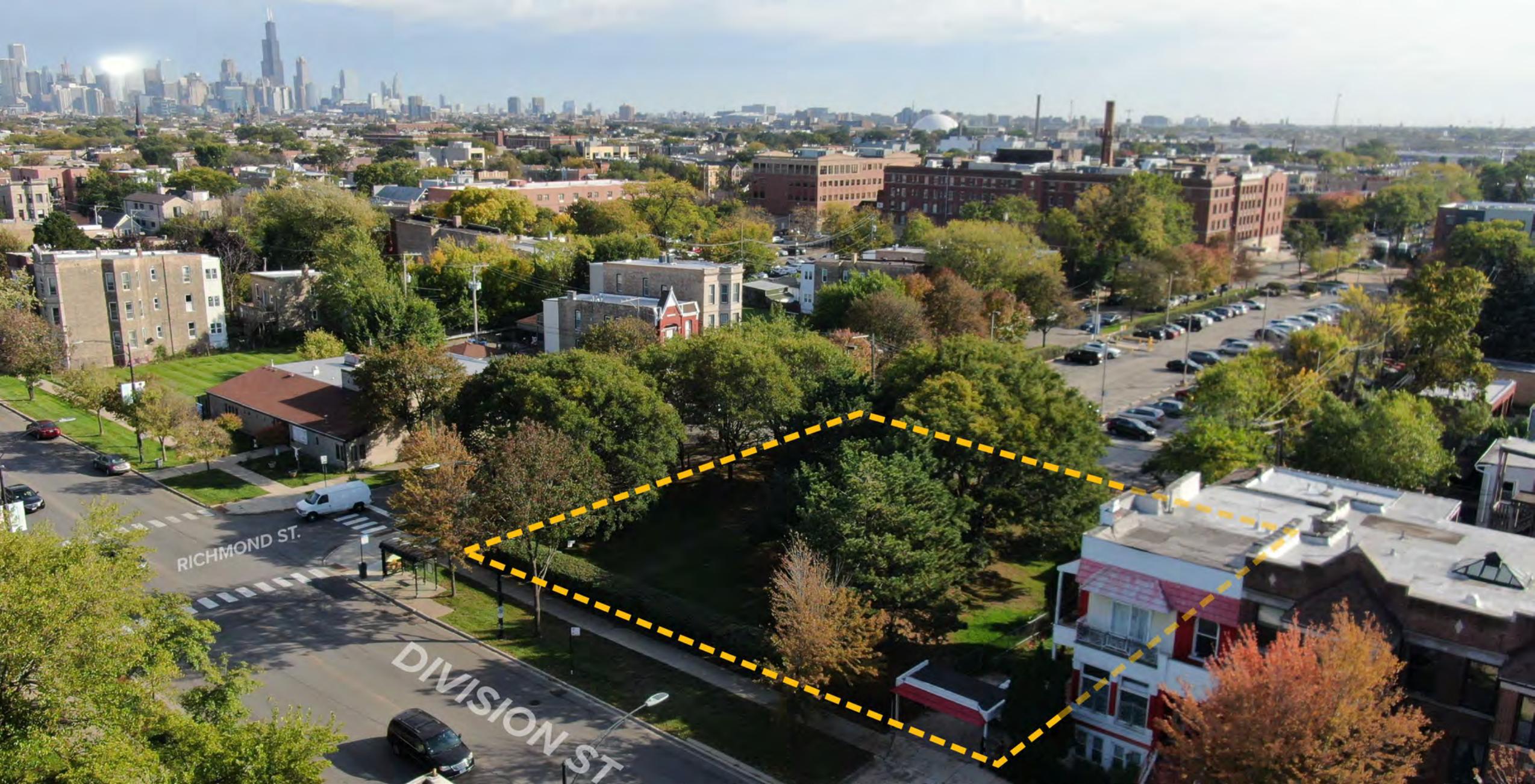
## Current PD 599:

- Current uses: hospital, affordable housing, surface parking
- Net site area: 7.86 acres/342,586 sf
- Gross site area: 12.82 acres.558,461 sf
- Max FAR: 1.3
- Max height:
  - Subarea A: 55'
  - Subarea B: 75'
- Existing PD parking spaces: ~528



**ZONING MAP – PD 599 WITH SITE**





**EXISTING CONDITIONS – LOOKING SOUTHEAST**



**EXISTING CONDITIONS – LOOKING SOUTHWEST**



**EXISTING CONDITIONS – LOOKING NORTHWEST**



**EXISTING CONDITIONS – LOOKING NORTH**

# Humboldt Park Health Wellness District Master Plan

- Vision to create a 24-block wellness district on the campus of Humboldt Park Health
- 2933 W. Division identified as priority redevelopment site
- Redevelopment plan calls for affordable housing, workforce development, hospital addition, and mixed-use program



HUMBOLDT PARK WELLNESS DISTRICT

# Project Timeline + Community Outreach

## Project Background

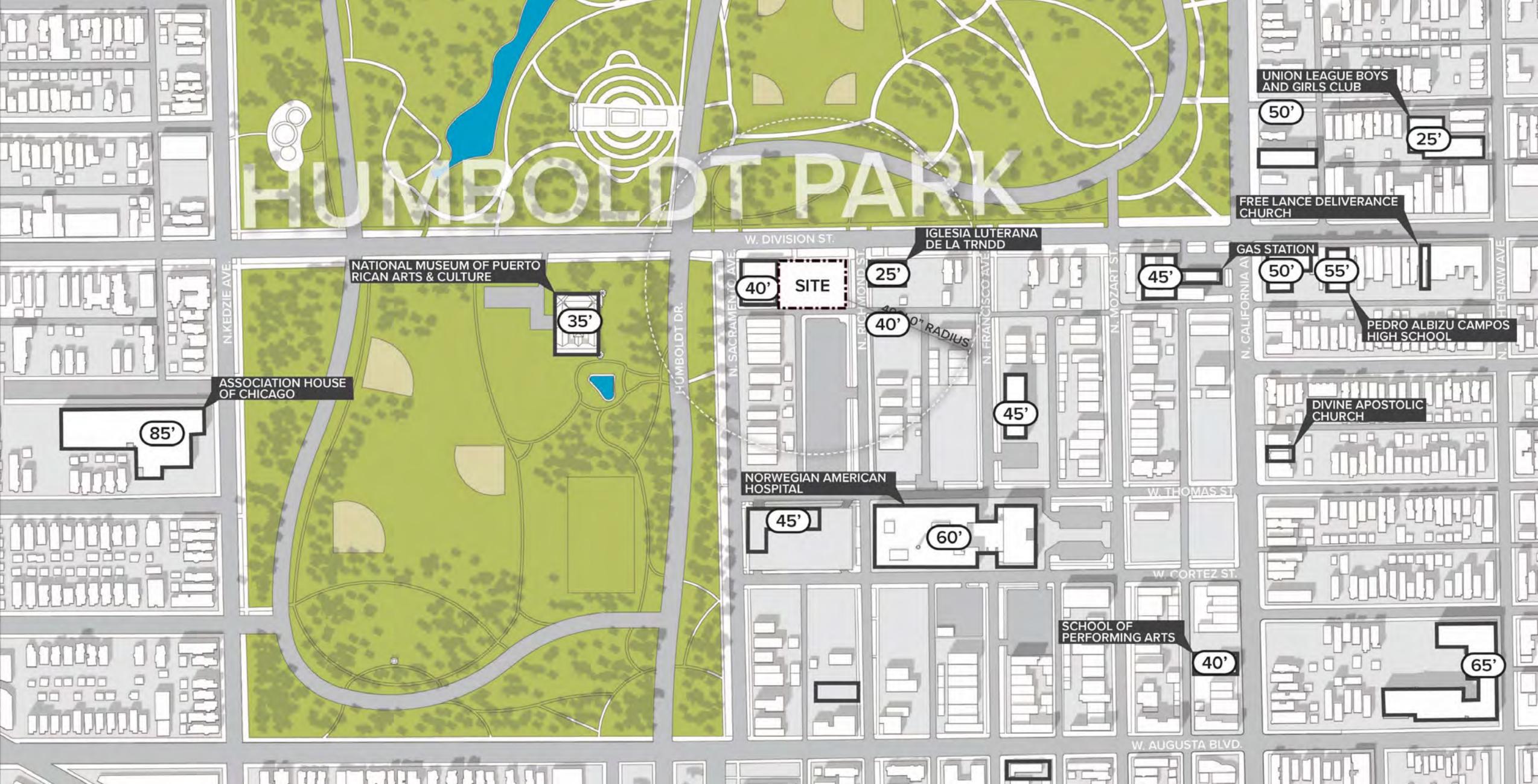
Letters of support received from the following organizations:

- Aunt Martha's Health and Wellness
  - Federally Qualified Health Center
- Senator Omar Aquino
- Loretto Hospital
- Rincon Family Services

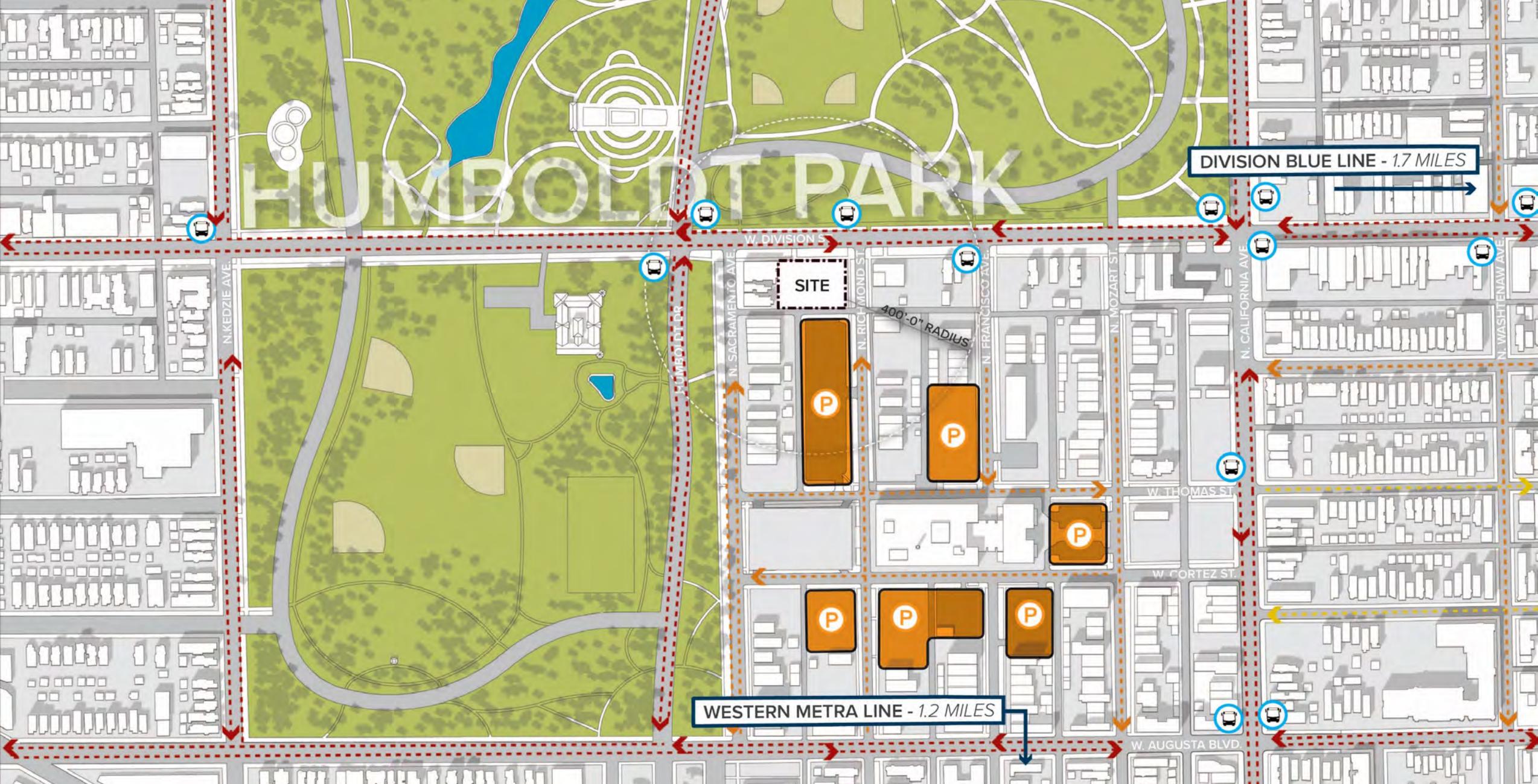
## Project Timeline

- Development and Adoption of Wellness District Master Plan: 2018
- Meetings with Department of Planning and Development: Summer/Fall 2021
- Stakeholder Meetings 2020-2021
- January 2022: PD application introduced to City Council
- March 17, 2022: Chicago Plan Commission

# HUMBOLDT PARK



**SURROUNDING LAND USES**



HUMBOLDT PARK

DIVISION BLUE LINE - 1.7 MILES

SITE

400'-0" RADIUS

WESTERN METRA LINE - 1.2 MILES

P

P

P

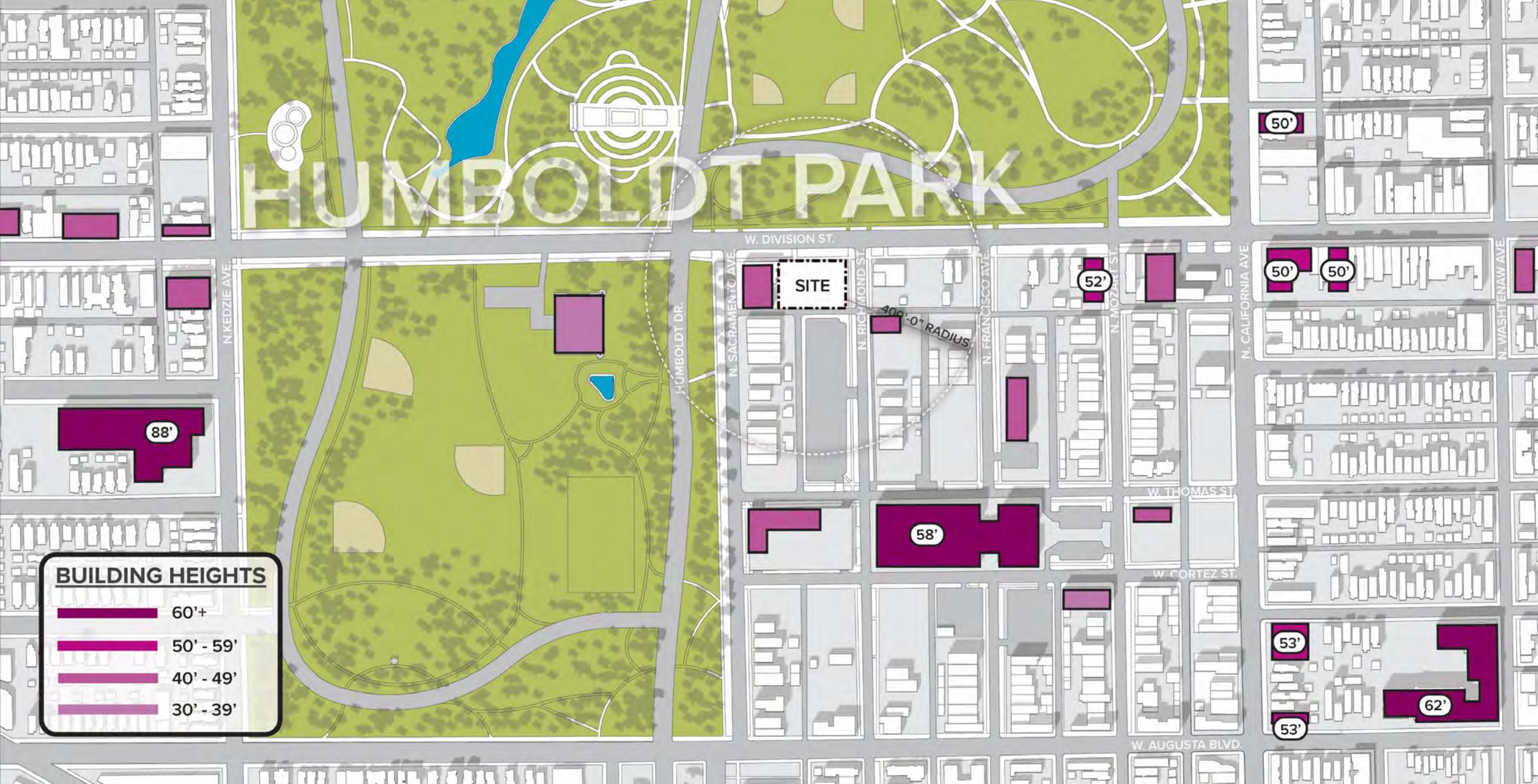
P

P

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PEDESTRIAN ROUTES/CONNECTIVITY

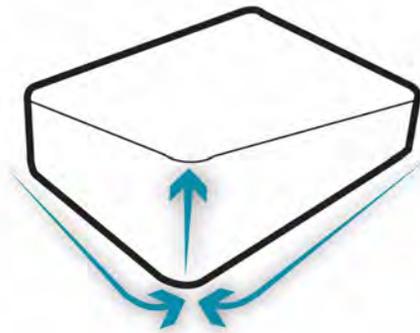
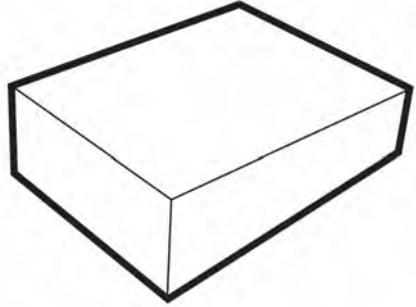
# HUMBOLDT PARK



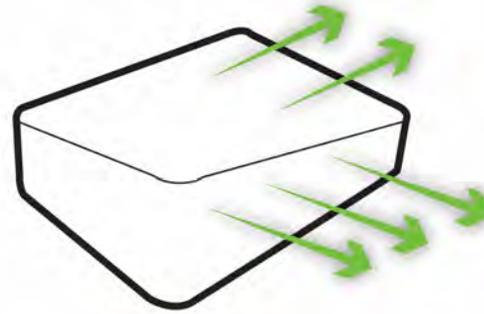
**SURROUNDING BUILDING HEIGHTS**

## Project Summary

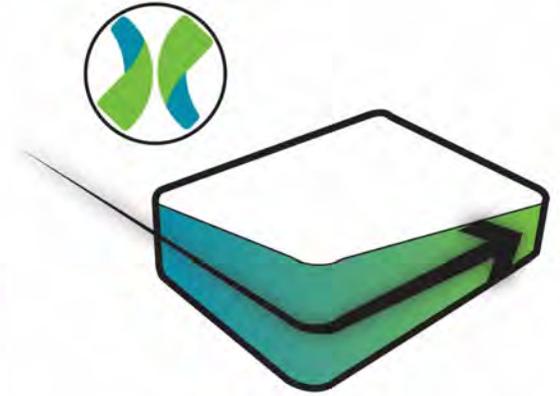
- Humboldt Park Health Wellness Center will promote healthy lifestyles while aiming to be a beacon of health and wellness for the entire campus. The new design has a chance to create a very important physical and visual link between the Humboldt Park Health hospital and the Humboldt Park community, including the park right across the street from our site. The fitness center will include program that will support the existing hospital, as well as the future developed masterplan.
- The program for this three-story facility will include:
  - Sports Medicine/Rehab Area
  - Open Weights/Fitness Area
  - Specialized fitness rooms
  - Indoor pool
  - Indoor track
  - Kids Club
  - Community/Lecture Rooms
  - Rooftop Terrace



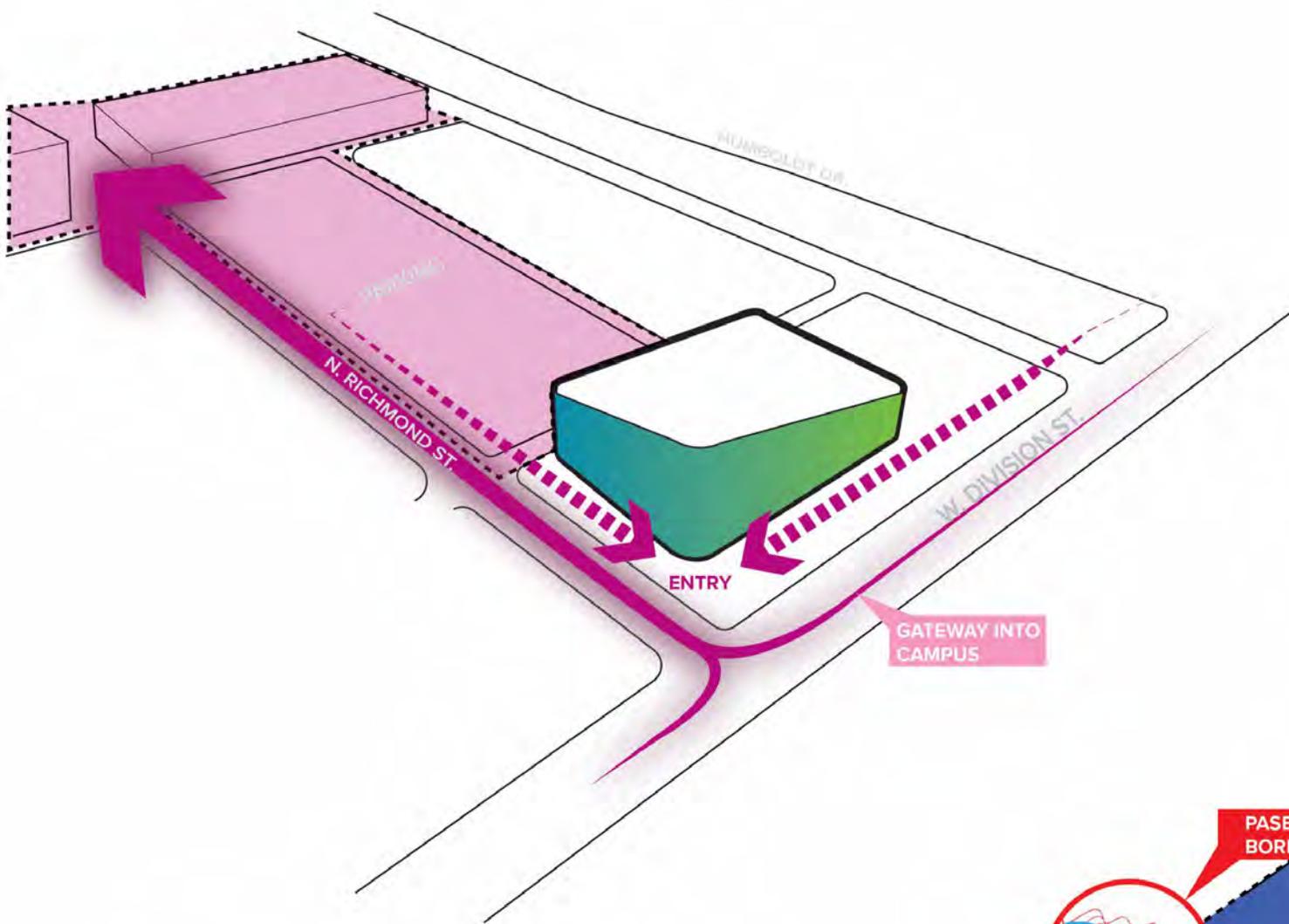
ENTRY



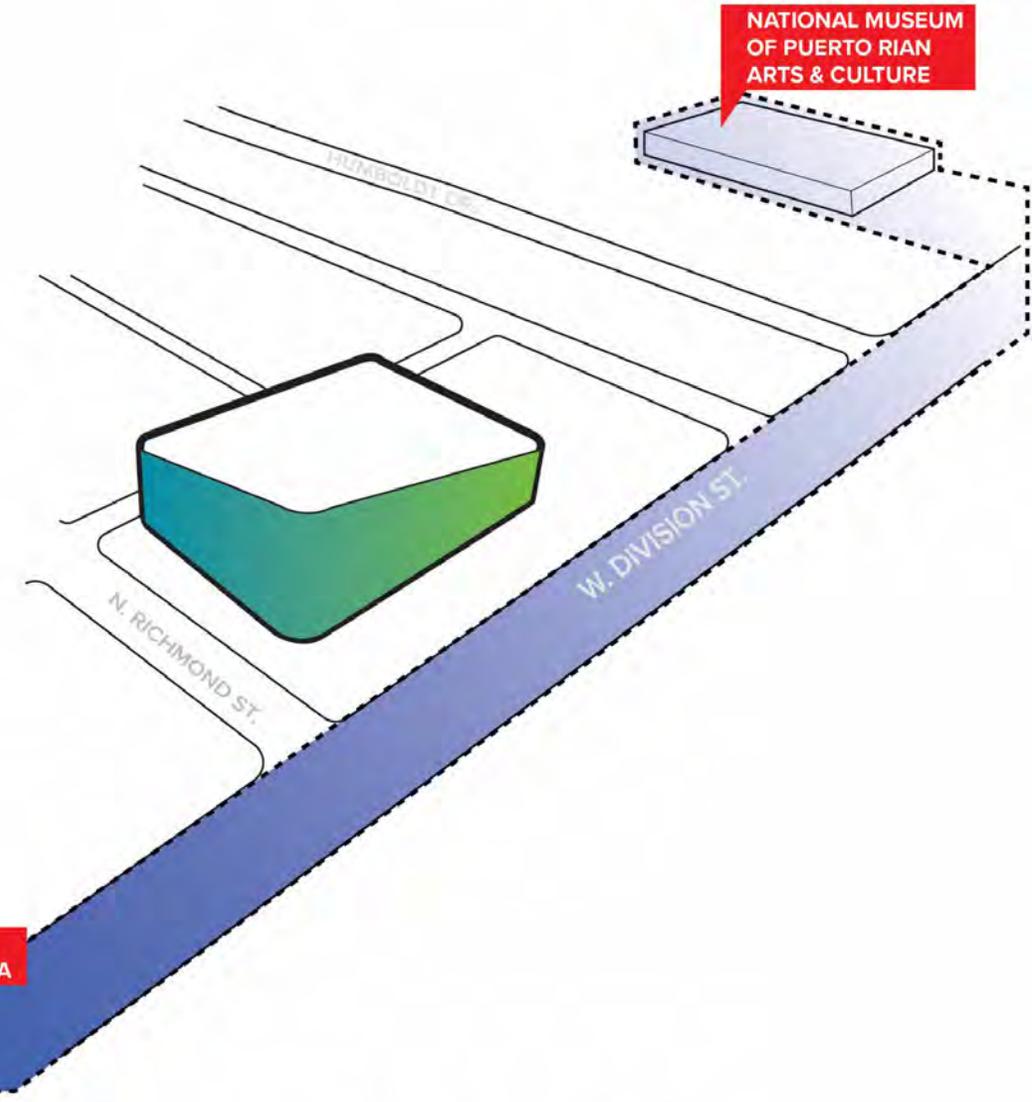
VIEWS TO PARK



HUMBOLDT PARK HEALTH

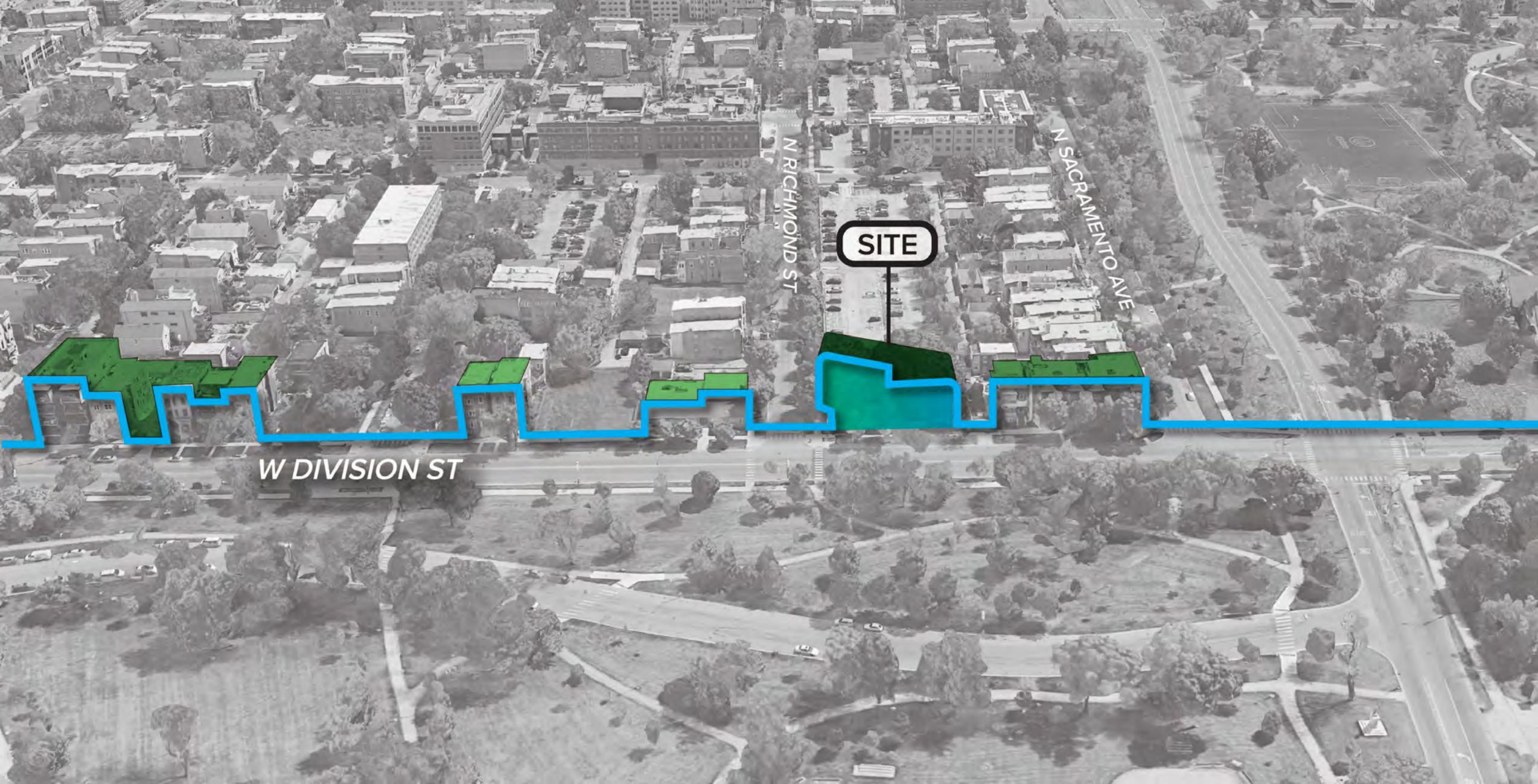


HOSPITAL CAMPUS CONNECTION



PASEO BORICUA CONNECTION

PROJECT DEVELOPMENT



SITE

N RICHMOND ST

N SACRAMENTO AVE

W DIVISION ST

SITE CONTEXT STUDIES – SITE CROSS SECTION

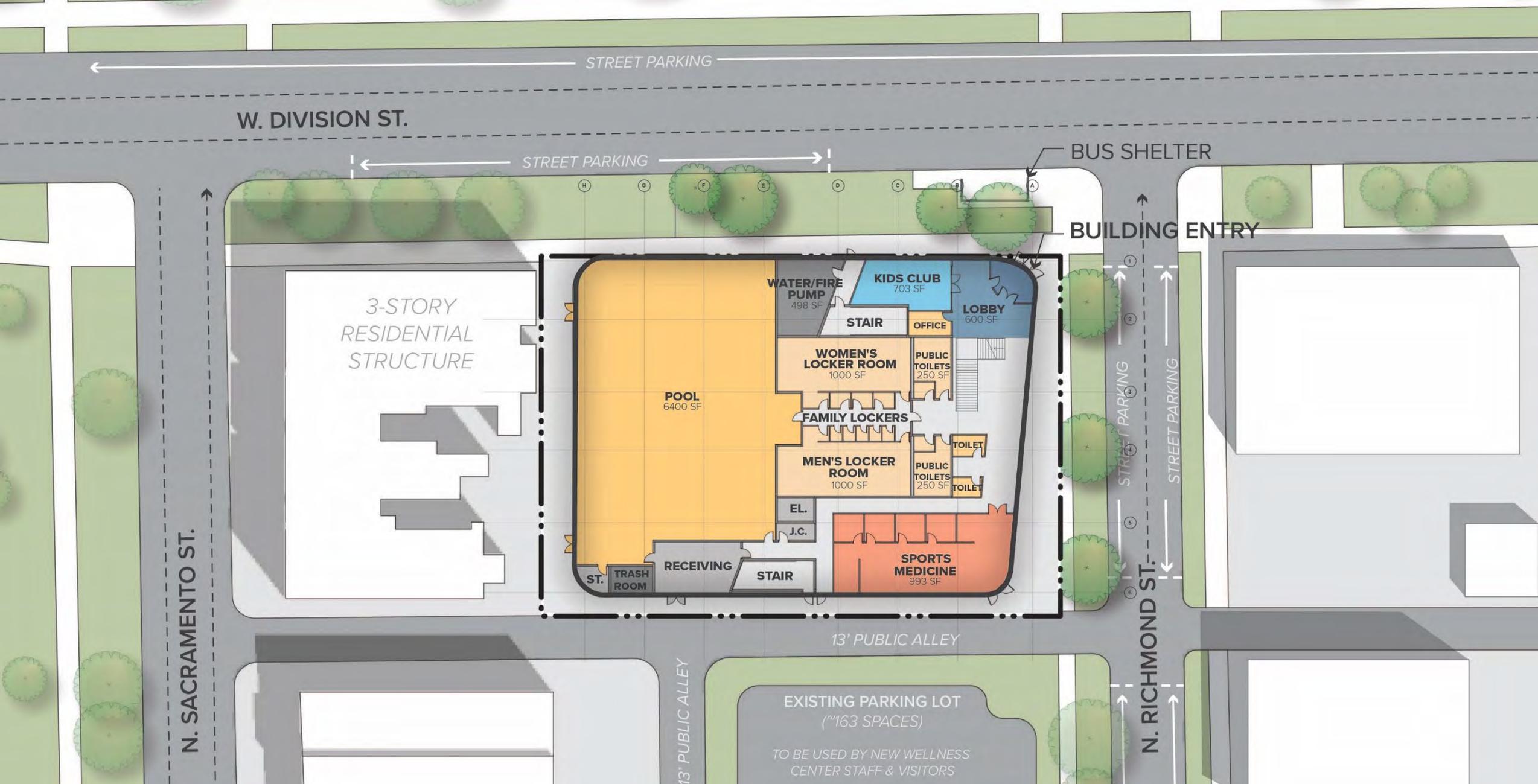


**SITE CONTEXT STUDIES – SITE CROSS SECTION**

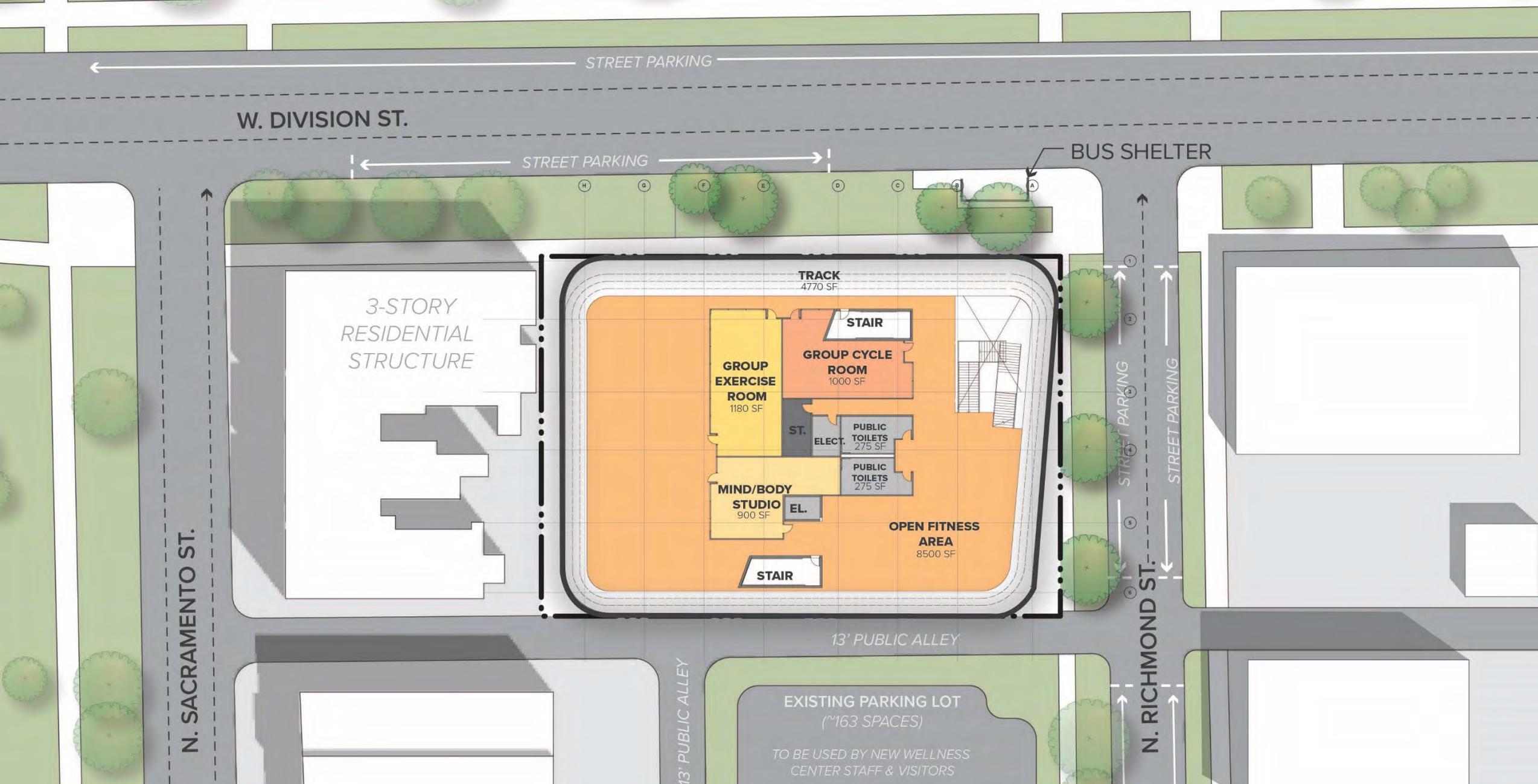




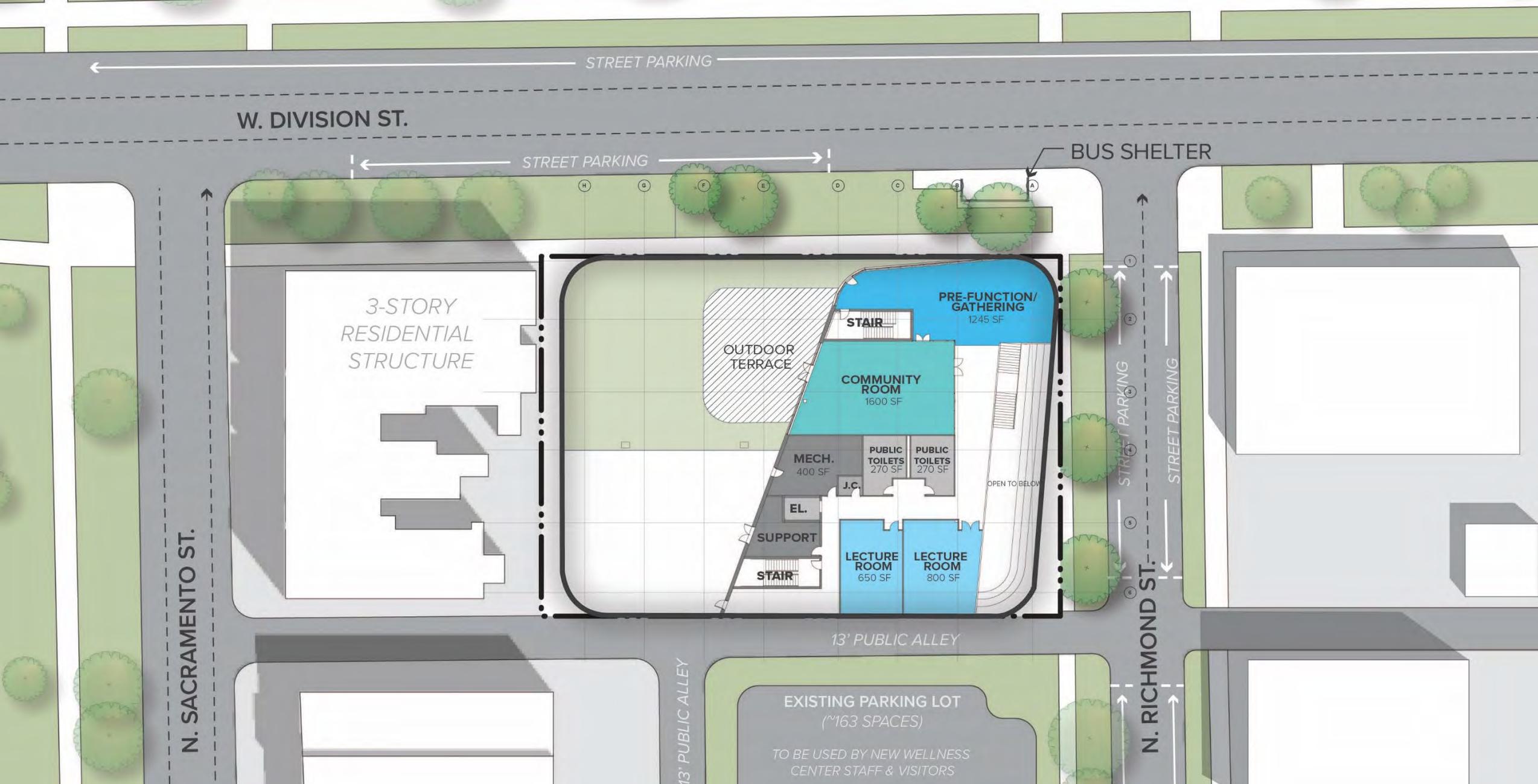
**TRANSPORTATION, TRAFFIC, AND PARKING**



**GROUND FLOOR PLAN**



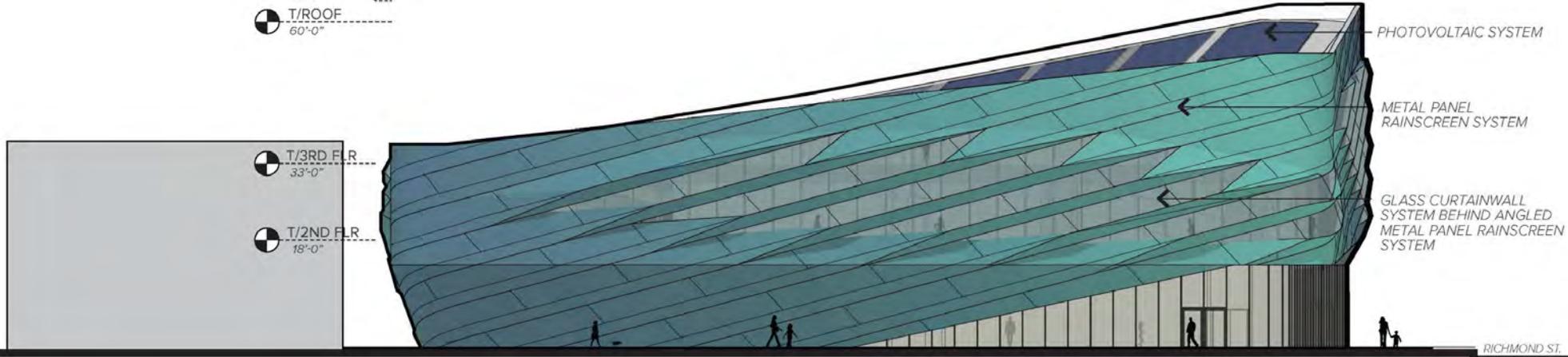
**SECOND FLOOR PLAN**



**THIRD FLOOR PLAN**

T/PARAPET  
62'-0"

T/ROOF  
60'-0"



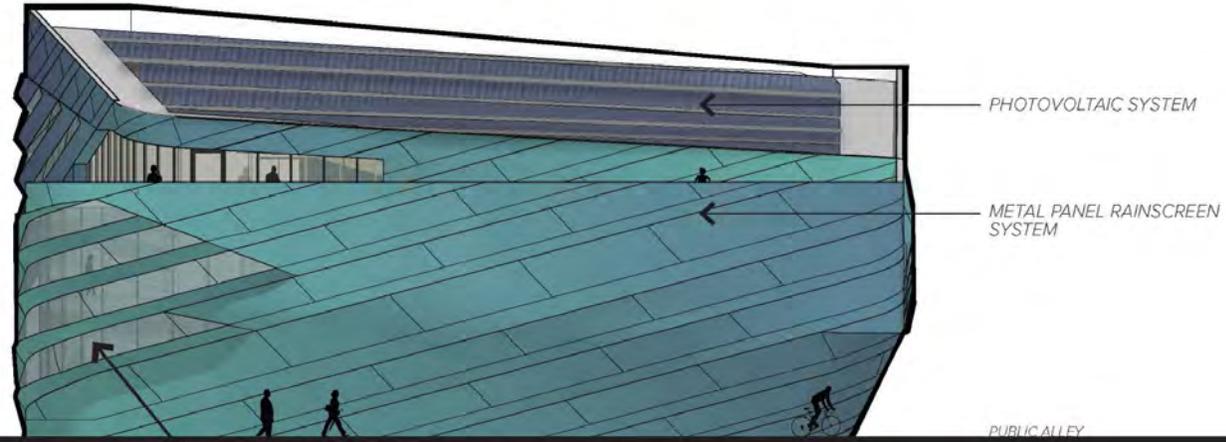
SOUTH ELEVATION

T/PARAPET  
62'-0"

T/ROOF  
60'-0"

T/3RD FLR  
33'-0"

T/2ND FLR  
18'-0"



GLASS CURTAINWALL  
SYSTEM BEHIND PERFORATED  
METAL PANEL RAINSCREEN

EAST ELEVATION

# BUILDING ELEVATIONS

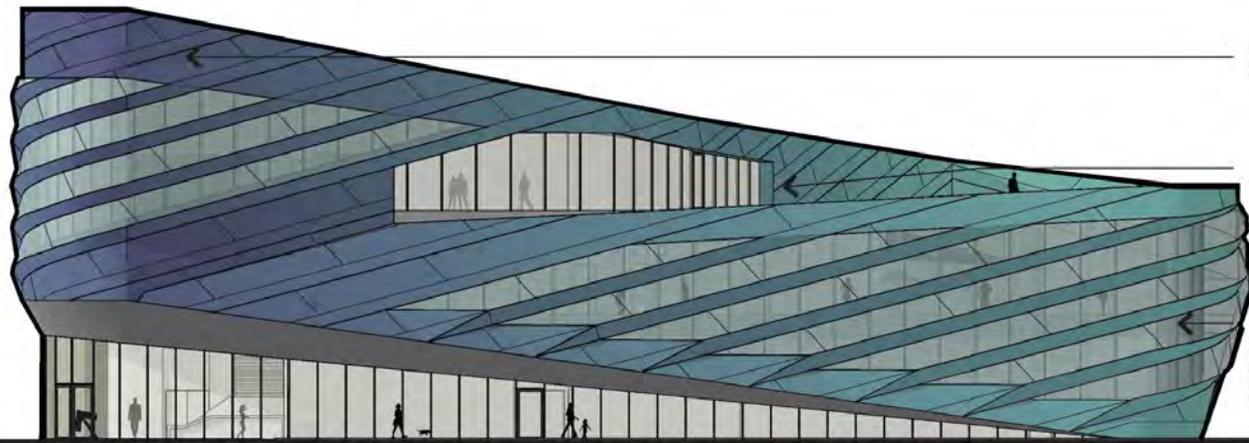
T/PARAPET  
62'-0"

T/PARAPET  
60'-0"

T/3RD FLR  
33'-0"

T/2ND FLR  
18'-0"

RICHMOND ST.



METAL PANEL  
RAINSCREEN SYSTEM

OUTDOOR TERRACE

GLASS CURTAINWALL  
SYSTEM BEHIND  
PERFORATED  
METAL PANEL  
RAINSCREEN

BUILDING ENTRY

NORTH ELEVATION

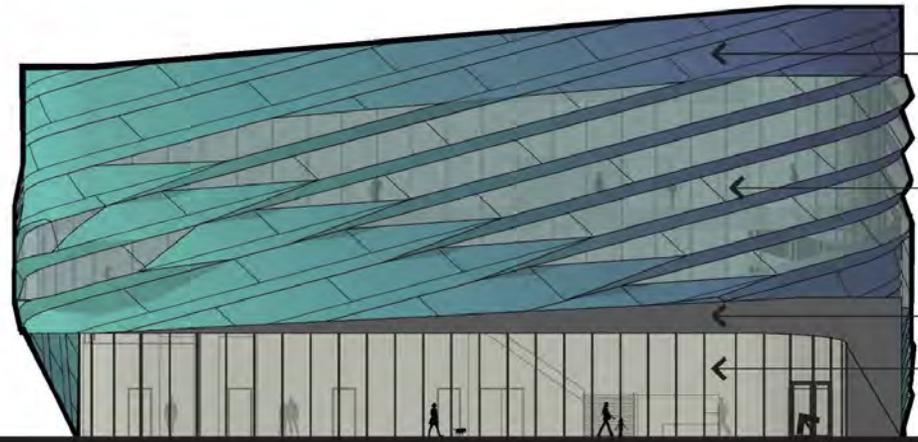
T/PARAPET  
62'-0"

T/ROOF  
60'-0"

T/3RD FLR  
33'-0"

T/2ND FLR  
18'-0"

PUBLIC ALLEY



METAL PANEL  
RAINSCREEN SYSTEM

GLASS CURTAINWALL  
SYSTEM BEHIND  
PERFORATED  
METAL PANEL  
RAINSCREEN

METAL PANEL SOFFIT

GLASS CURTAINWALL  
SYSTEM

BUILDING ENTRY

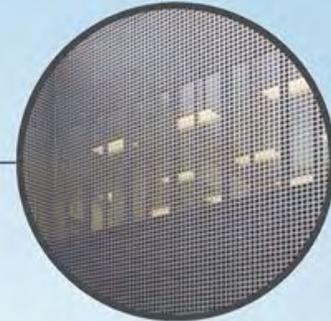
WEST ELEVATION

DIVISION ST.

# BUILDING ELEVATIONS



**RAINSCREEN FACADE**  
METAL PANEL SYSTEM



**RAINSCREEN FACADE**  
PERFORATED PANELS OVER  
STOREFRONT SYSTEM



**STORE FRONT SYSTEM**



**ENTRY SOFFIT**  
METAL PANEL SYSTEM



**PEDESTRIAN SIDEWALK**  
LIGHT CONCRETE PAVEMENT



**ENTRANCE PLAZA**  
DARK CONCRETE PAVEMENT



# BUILDING MATERIALS

# Pedestrian Context



EXISTING CONTEXT



JOMA

AERIAL VIEW FROM NORTHWEST DIRECTION



JSM2

PEDESTRIAN VIEW FROM NORTHWEST DIRECTION



JSM2

AERIAL VIEW FROM NORTH DIRECTION



**AERIAL VIEW FROM NORTHEAST DIRECTION**



JOMA

PEDESTRIAN VIEW FROM NORTHEAST DIRECTION



Compliance Options	Points Required	Sustainable Strategies Menu																																					
		Health	Energy						Stormwater						Landscapes			Green Roofs		Water		Transportation							Solid Waste	Work Force	Wildlife								
			1.1 Achieve WELL Building Standard	2.1 Designed to earn the Energy Star	2.2 Exceed Energy Code (5%)	2.3 Exceed Energy Code (10%)	2.4 Exceed Energy Code (25%)	2.5 Exceed Energy Code (40%)	2.6 Onsite Renewable Energy (3%)	2.7 Onsite Renewable Energy (5%)	3.1 Exceed Stormwater Ordinance by 25%	3.2 Exceed Stormwater Ordinance by 50%	3.3 100% Stormwater Infiltration	3.4 Sump Pump Capture & Reuse	3.5 100-year detention for lot-to-lot buildings	3.6 100-year Detention for Bypass	4.1 Working Landscapes	4.2 Natural Landscapes	4.3 Tree Planting	4.4 Achieve Sustainable Sites Certification	5.1 Green Roof 50-100%	5.2 Green Roof 100%	6.1 Indoor Water Use Reduction (25%)	6.2 Indoor Water Use Reduction (40%)	7.1 Proximity to Transit Service	7.2 Bikeshare Sponsorship	7.3 Bike Parking Residential	7.4 Bike Parking Commercial & Industrial	7.5 EV Charging Stations	7.6 EV Charger Readiness	7.7 CTA Digital Displays	8.1 80% Waste Diversion	8.2 Workforce Development	9.1 Bird Protection (Basic)	9.2 Bird Protection (Enhanced)				
<b>Compliance Paths</b>	Starting Points	<div style="display: flex; justify-content: space-between; font-size: small;"> <span>Number of Optional Points Required New Construction / Substantial Rehab / Moderate Rehab</span> <span>Choose one</span> <span>Choose one</span> <span>Choose one</span> <span>Choose one</span> </div>																																					
Options Without Certification																																							
All Options Available	0	100 / 50 / 25	40	30	20	30	40	50	10	20	10	20	40	5	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	5	10	10	5	10			
Options With Certification																																							
LEED Platinum	95	5 / 0 / 0	40	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	5	NA	NA	NA	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	5	NA	10	5	10			
LEED Gold	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	5	10	10	5	10			
LEED Silver	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	NA	20	NA	5	NA	NA	NA	5	5	5	10	10	5	10			
Green Globes 4-Globes	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	5	10	10	5	10			
Green Globes 3-Globes	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	5	10	10	5	10			
Green Globes 2-Globes	70	30 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	NA	20	NA	5	NA	NA	NA	5	5	5	10	10	5	10			
Living Building Challenge	100	0 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	10	5	NA	NA	10	5	10
Living Building Challenge Petal	90	10 / 0 / 0	40	NA	20	30	40	50	NA	NA	10	20	40	5	5	5	5	NA	5	20	10	20	10	20	NA	5	NA	NA	10	5	5	10	10	5	10				
Enterprise Green Communities*	80	20 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	NA	NA	10	5	5	10	10	5	10				
PassiveHouse	70	30 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	10	10	5	10					

\*only available to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PD) - New Construction	100 points required
TIF Funded Development Projects (TIF) - New Construction*	100 points required
DPD Housing, Multi-family (>5 units) Projects (DPD-H MF) - New Construction	100 points required
PD, TIF, DPD-H MF and Class L - Renovation Projects*	
Moderate Renovation Projects	25 points required
Substantial Renovation Projects	50 points required

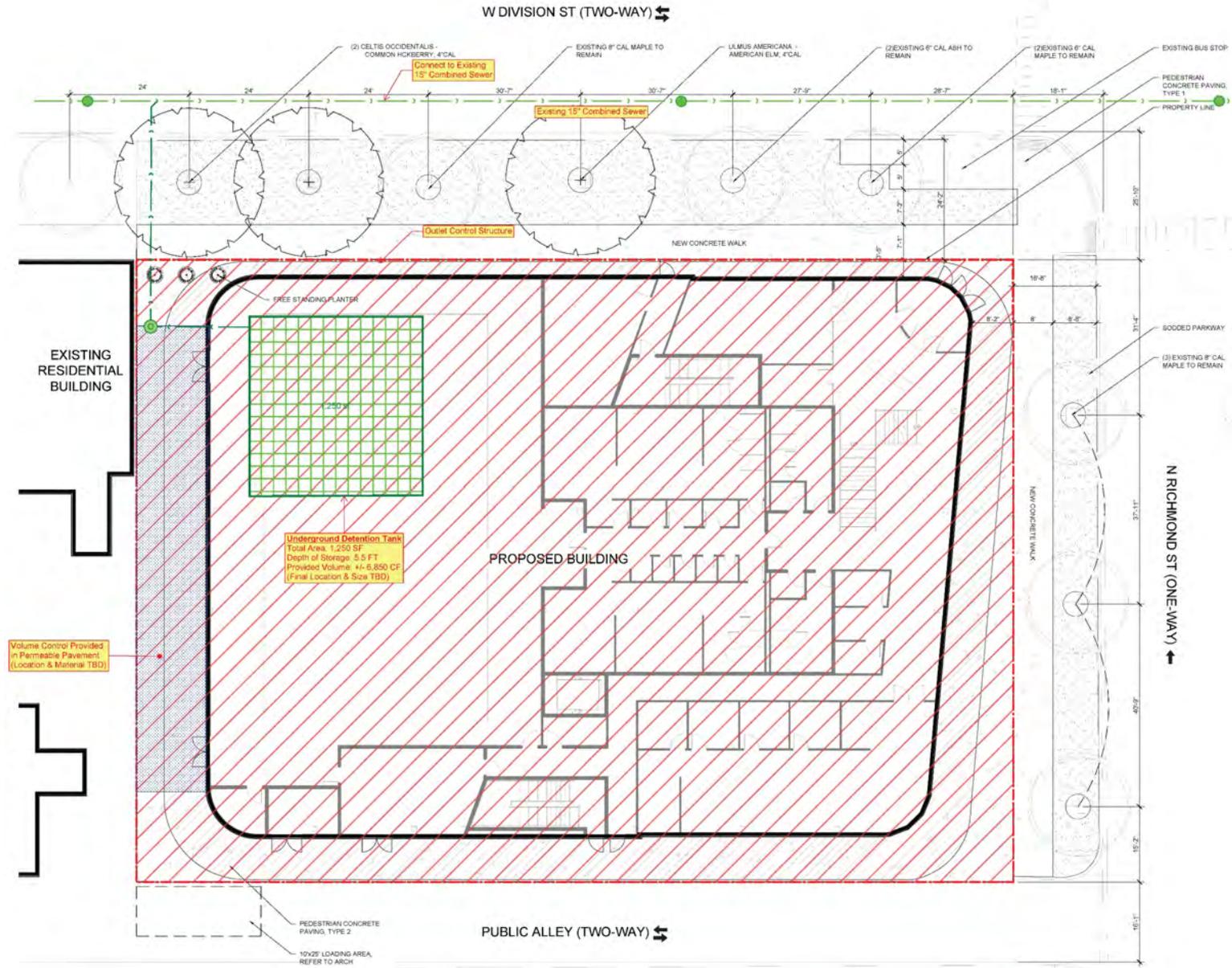
\*does not apply to TIF assistance of less than \$1M (including but not limited to TIF-NIP, TIF Purchase Rehab, Streamlined TIF and SBIF programs)

- Achieve Energy Star
- Exceed Energy Code
- Indoor Water Use Reduction
- 80% Waste Diversion
- Tree Planting
- Bird Protection

# Stormwater Management

Total Project Area: 22,059 SF  
Rate Control Required (+/-): 6,500 CF  
Volume Control Required (+/-): 805 CF

Rate Control will be provided in an underground detention tank located beneath the building footprint (final location and layout TBD). The system will outlet through a control structure, utilizing the standard maximum release rate, to the existing 15-inch combined sewer in Division Street. Volume Control will be provided in permeable pavement (final location, layout, and material TBD).



## **Public Benefits**

- The Wellness Center will employ ~25 Full Time Equivalents
- ~10 Full Time and ~50 part time employees for a total of **~60 employees**
  - Managers and department heads will be salaried
  - Instructors, trainers, and coaches will be at a high, industry competitive hourly rate
  - Sales representatives will be commissioned
  - Receptionists, attendants, and housekeeping staff will be at hourly slightly higher than min. wage
- Workforce goals of 50% minority and 10% women
- 30% community hiring from surrounding zip codes

## **Minority- and Women-Owned Business Enterprise Goals**

- Minimum of 50% Participation from Qualified Minority Business Enterprises
- Minimum of 10% Participation from Qualified Women Business Enterprises



# DPD Recommendations

**DPD Recommendation: Approve zoning map amendment to rezone the site from PD 599 and a RS-3 Residential Single-Unit (Detached House) District to a C1-2 zoning district and then to PD 599, as amended to facilitate the development of a three-story, 45,500 square foot wellness center.**

After reviewing application materials and analyzing with respect to the factors addressed in previous slides, DPD recommends approval for the amendment for the following justifications:

- Encourages unified planning and development (17-8-0102)
- Promotes economically beneficial development patterns that are compatible with the character of existing neighborhoods. (17-8-0103)
- Reinforces desirable urban features found within the surrounding area; creates seamless or gradual transitions in bulk and scale when high-intensity development occurs in or near areas with a lower-intensity character (17-8-0906)

It is the recommendation of the Department of Planning and Development that the application for a zoning map amendment for PD 599 be approved and recommended for passage to the City Council Committee on Zoning, Landmarks and Building Standards.