



# CHICAGO PLAN COMMISSION

Department of Planning and Development

**360 NORTH GREEN STREET (27<sup>TH</sup> WARD)**

AMENDMENT TO PD NO. 1407

STERLING BAY

DLA PIPER

**March 17, 2022**

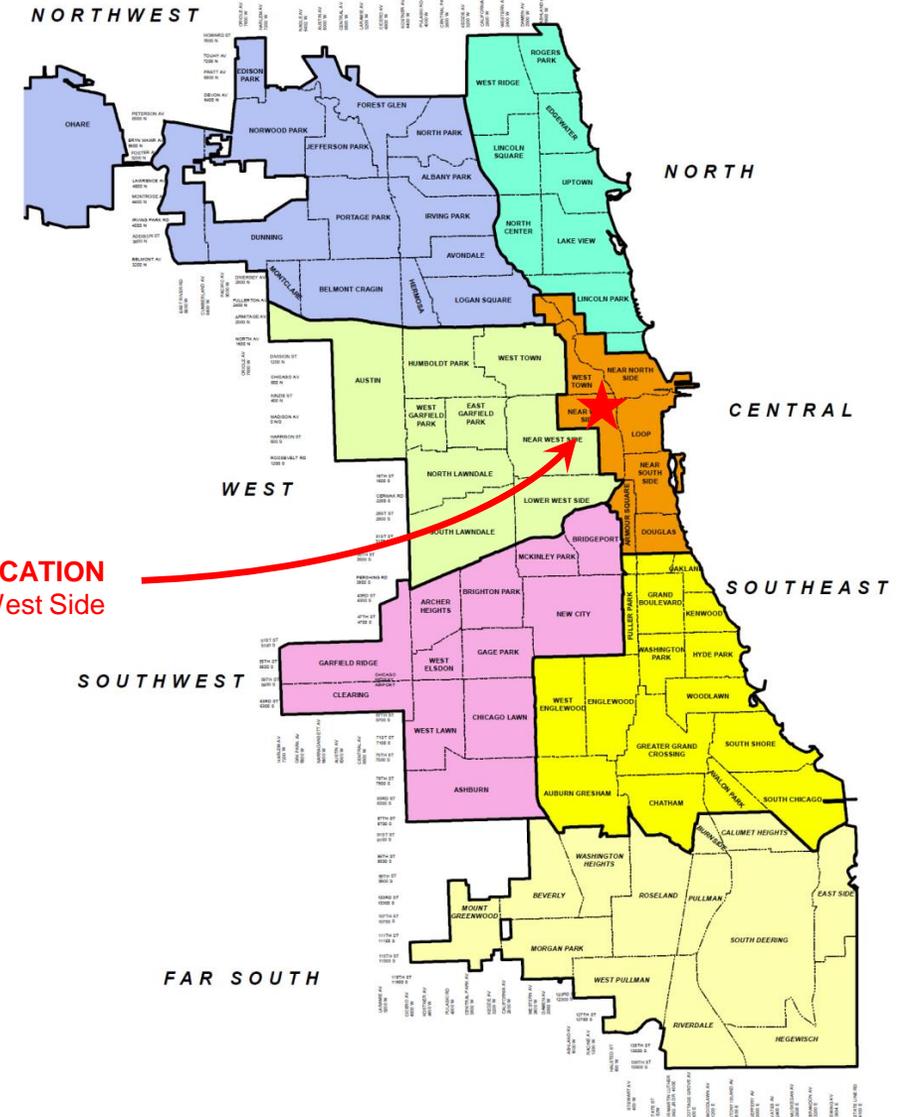
# Community Area Snap Shot

## NEAR WEST SIDE

### DEMOGRAPHICS

Total Population:	67,881
Between Age 25-44:	54%
Less Than 24 Years Old:	28%
Over The Age Of 45:	18%
Median Household Income:	\$110,000
Employees Living Outside City:	49%
Top Industry Sectors:	Professional—15.5%
	Health Care—14.3%
	Administration—12.6%
	Finance—12.5%

**PROJECT LOCATION**  
Near West Side



\*Source: COMMUNITY DATA SNAPSHOT NEAR WEST SIDE, CHICAGO COMMUNITY AREA, CMAP, AUGUST 2021

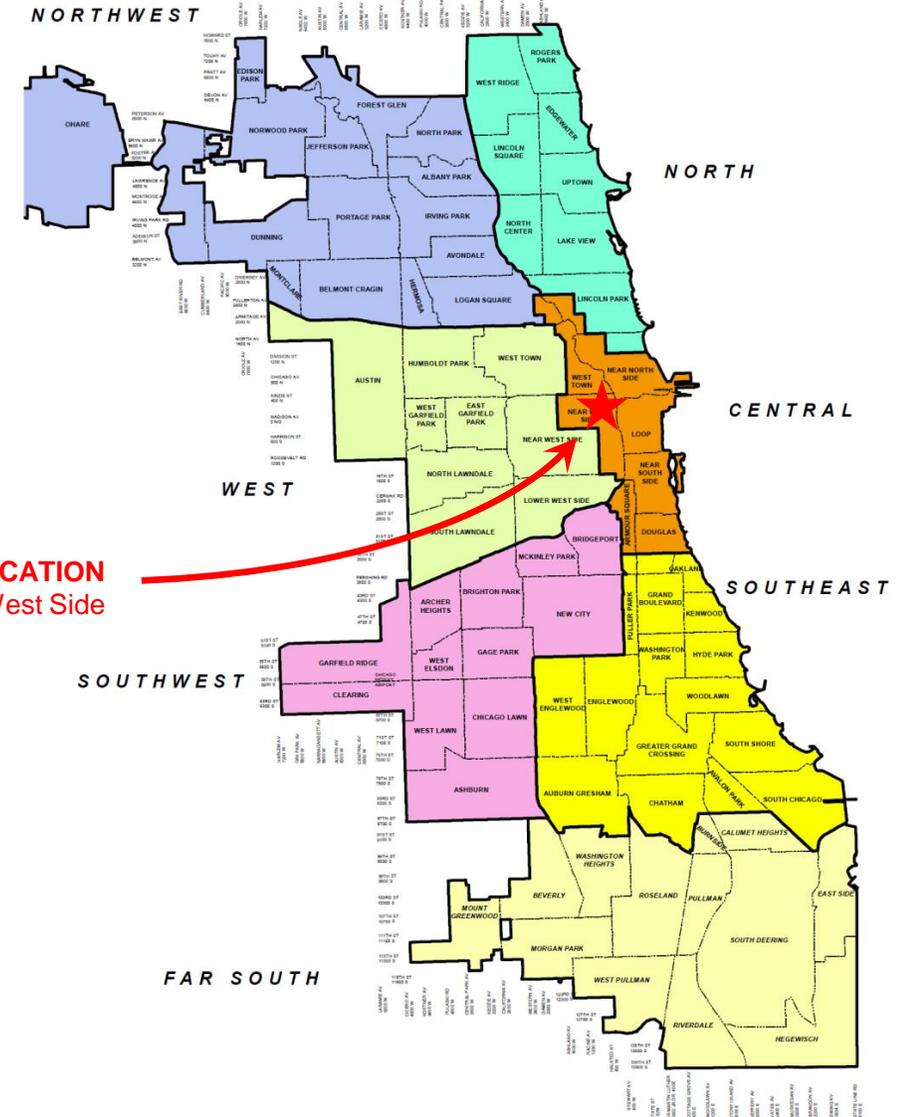
# ★ Community Area Snap Shot

## NEAR WEST SIDE

### CULTURAL / HISTORIC CONTEXT

- Former meatpacking district comprised of historically relevant warehouses and landmarked buildings.
- Currently boasts cultural hotspots such as Restaurant Row & Greektown.
- Fulton Market maintains an industrial vibe that has attracted many top corporations to office there.
- West Loop provides residents with an impressive offering of art galleries, local shops, dining experiences, etc. creating a vibrant and continually evolving neighborhood.

**PROJECT LOCATION**  
Near West Side

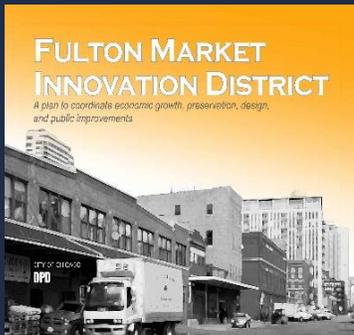


# ★ Planning Context



## WEST LOOP DESIGN GUIDELINES

- Published September 2017
- Chicago Department of Planning & Development
- The WLDG “builds upon previous planning efforts to ensure that the West Loop continues to build on the central area characteristics of an employment, transportation, cultural and residential center for the city; while maintaining the urban character and scale that has made it so attractive.”



## FULTON MARKET INNOVATION DISTRICT

- Published July 2014
- Chicago Department of Planning & Development
- The FMID “identifies a vision to preserve existing jobs while accommodating private sector investments that reinforce the area’s expanding role as an innovation-driven employment center.”
- The FMID plan includes a formal land use plan, design guidelines, infrastructure/streetscape projects & historic preservation, among others.



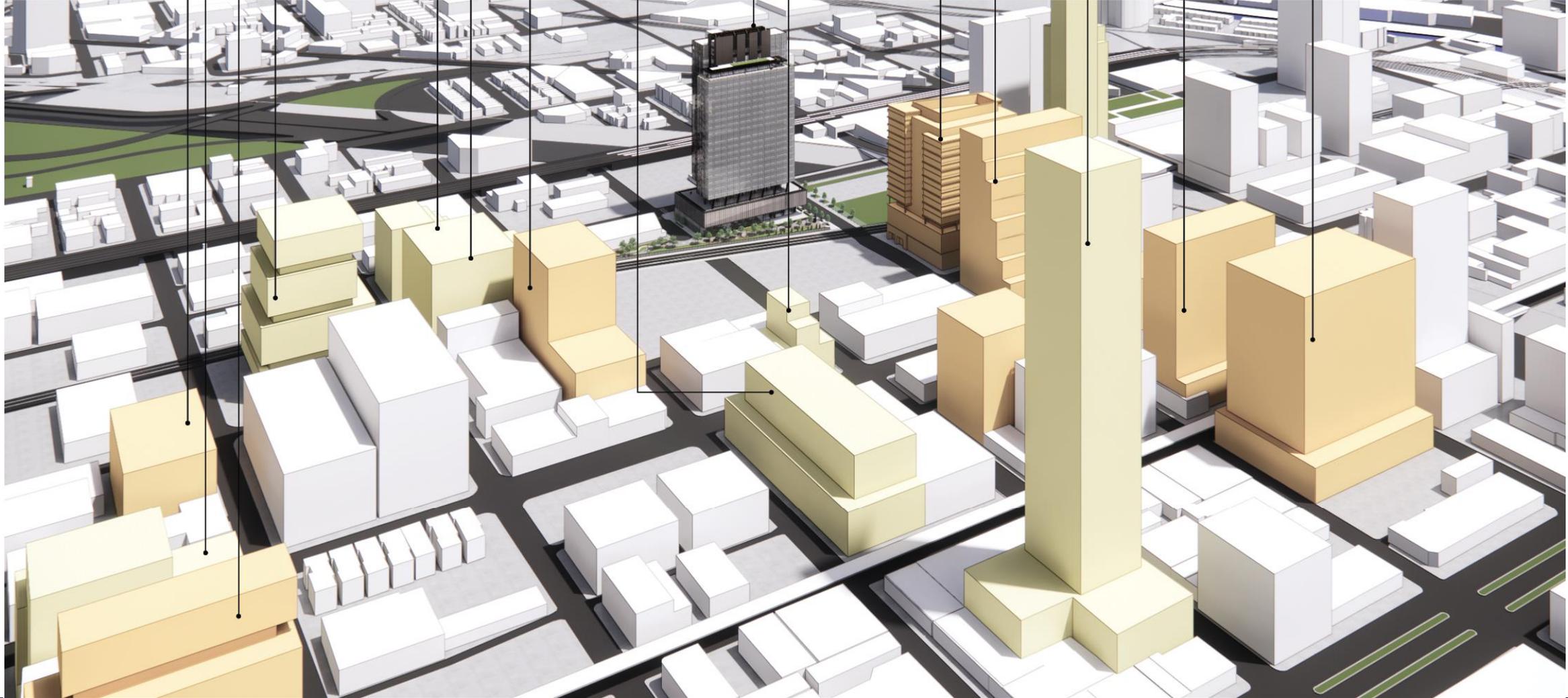
## FULTON MARKET INNOVATION DISTRICT PLAN UPDATE

- Published February 2021
- Chicago Department of Planning & Development
- The goals and strategies in the FMID PLAN UPDATE will supersede the objectives and recommendations in the previous planning document.
- The FMID PLAN UPDATE “provides revised plan objectives, land use recommendations, including new residential uses north of Lake Street, and to create a more vibrant and pedestrian-friendly, inclusive neighborhood.”

FUTURE DEVELOPMENTS  
NEW DEVELOPMENTS

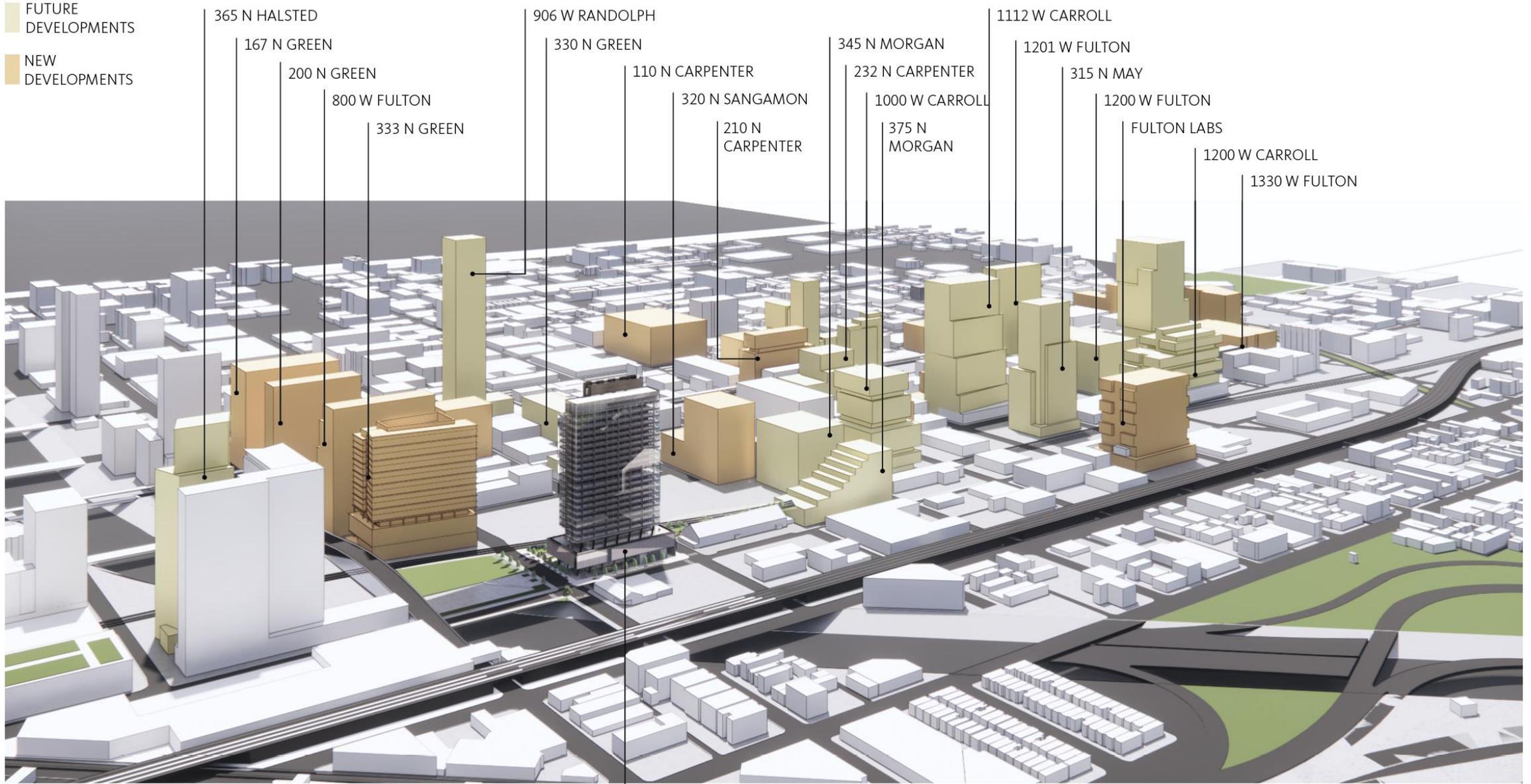
### 360 N GREEN STR

318 N CARPENTER  
232 N CARPENTER  
210 N CARPENTER  
1000 W CARROLL  
375 N MORGAN  
345 N MORGAN  
320 N SANGAMON  
917 W FULTON  
900 W FULTON  
333 N GREEN  
800 W FULTON  
906 W RANDOLPH  
200 N GREEN  
167 N GREEN



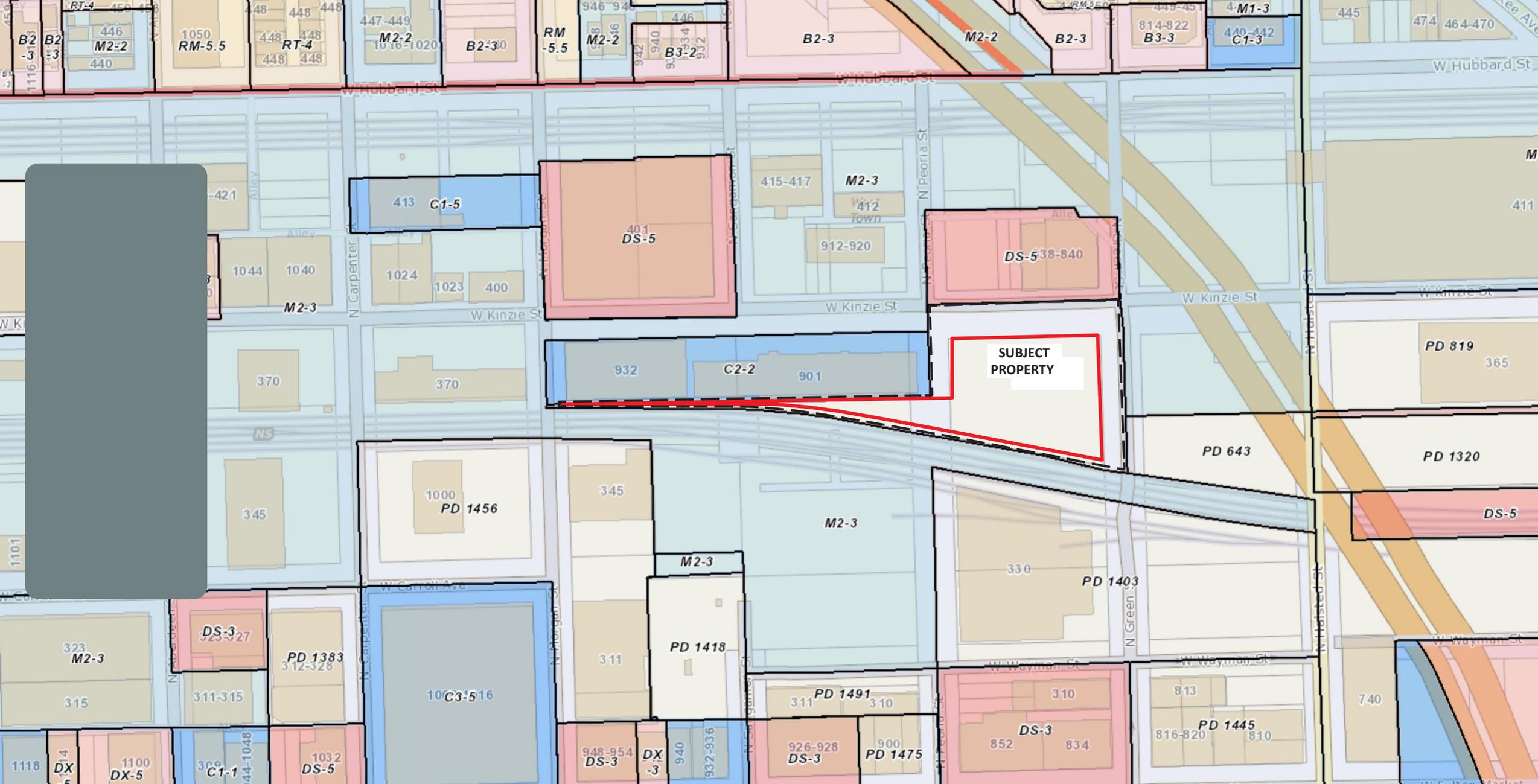
**PROPOSED AND APPROVED DEVELOPMENTS**

FUTURE DEVELOPMENTS  
NEW DEVELOPMENTS



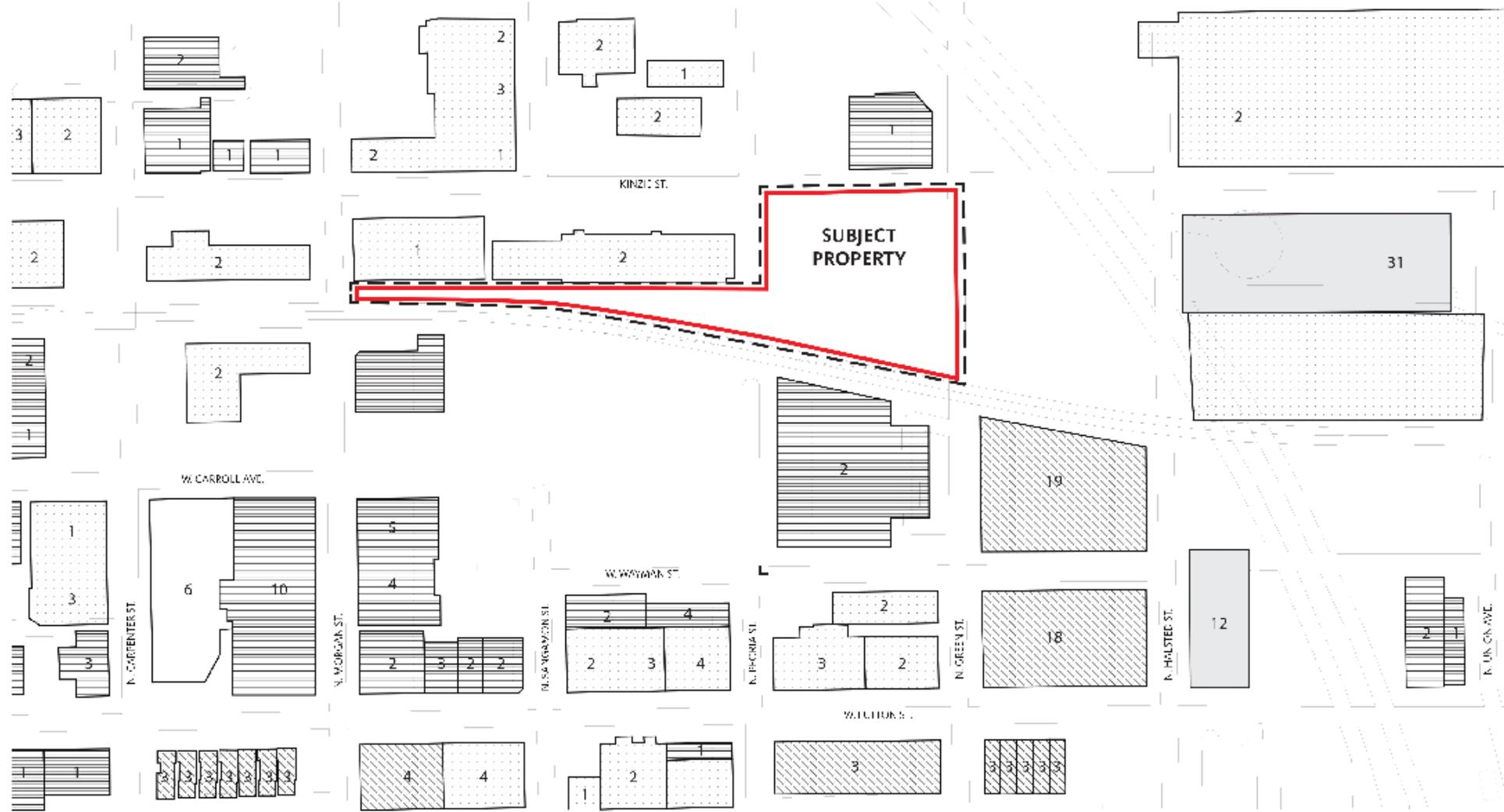
360 N GREEN STR

# PROPOSED AND APPROVED DEVELOPMENTS



SUBJECT  
PROPERTY

ZONING CONTEXT MAP



OFFICE



INDUSTRIAL



COMMERCIAL



MIXED-USE



PARKING GARAGE



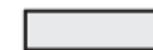
PARKING LOT



VACANT STRUCTURE



PD PROPERTY



RESIDENTIAL

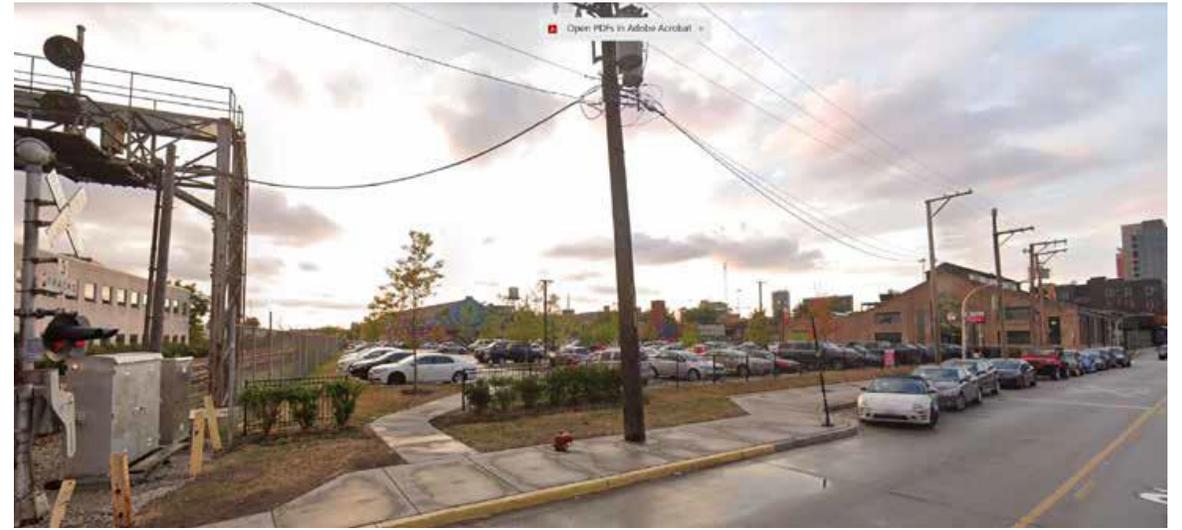
# - BUILDING HEIGHT - NUMBER OF STORIES



# EXISTING LAND USE MAP



*Looking SW from Kinzie and Green.*



*Looking NE from Green and the Metra railroad crossing.*



*Looking SE from Kinzie and Peoria.*



*Looking NW from the Peoria roundabout.*

# ★ Project Timeline + Community Outreach

## Project Review

Business Planned Development #1407 approved: March 28, 2018  
Amendment application filed: October 14, 2021

## Community Meetings

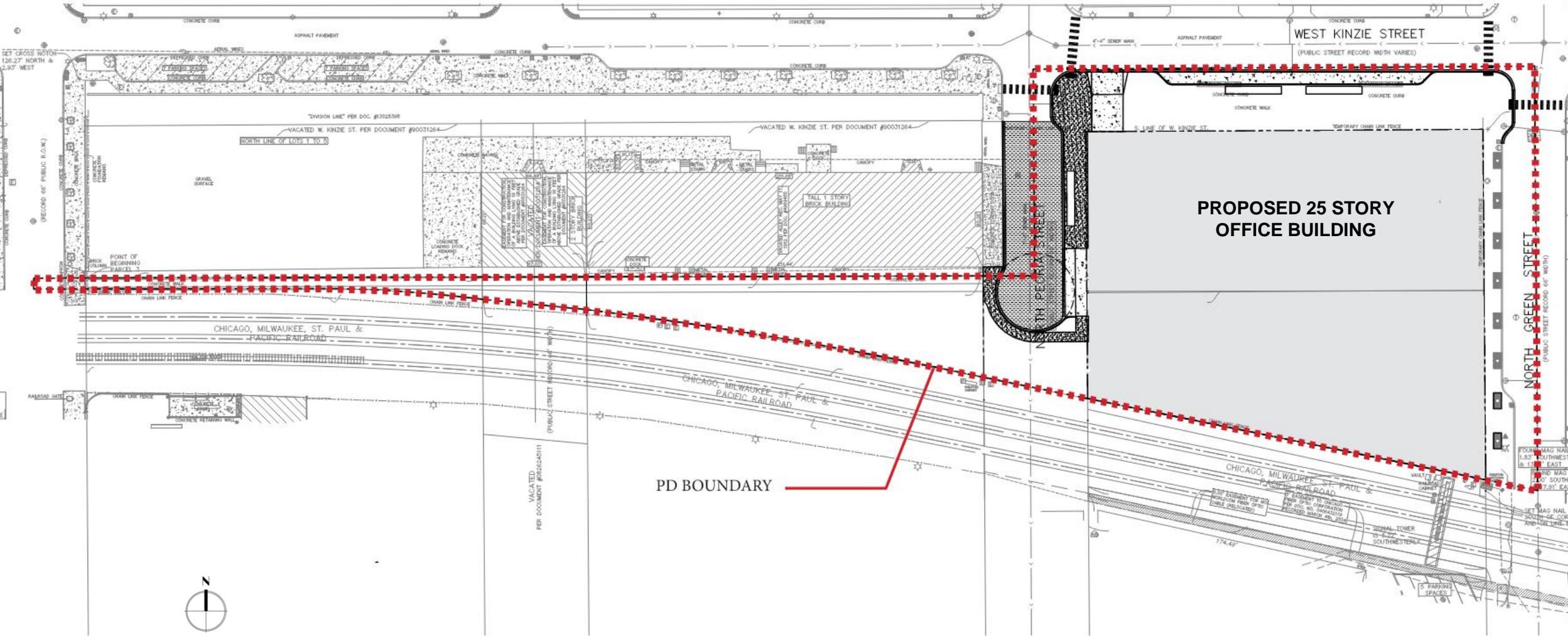
West Central Association October 20, 2021  
Neighbors of West Loop November 8, 2021  
West Loop Community Organization November 2, 2021  
Community-wide Meeting February 16, 2022

## Design Changes From DPD & Community Feedback

- Overall height reduced from 425' to 399'
- Building crown material changed from concrete to back-painted curtain wall
- Podium parking façade changed from dark metal panels to "lighter" expression
- The "V" column covers changed to dark metal panel.
- Open space refined, green wall added to ground floor's south façade



NET SITE AREA = 61,900SQ.FT.  
AREA IN RIGHT OF WAY= 34,735 SQ.FT.  
GROSS SITE AREA = 96,635 SQ.FT



# PLANNED DEVELOPMENT BOUNDARY



**OPEN SPACE + LANDSCAPING**



### WEST LOOP DESIGN GUIDELINES CONFORMANCE

- 1** 1.1.7 Consider the cumulative effects of new buildings on sunlight, comfort and quality of the public realm by maximizing solar access for streets, parks, and public open space.
- 2** 1.1.8 Ensure access to high quality open space by creating a safe, comfortable, accessible, vibrant, and attractive public realm and pedestrian environment.
- 3** 2.3.2 For larger sites, design building program into thinner structures to allow for publicly accessible open space on site. This space could be used for outdoor cafes, or for leisure space for building occupants and the general public.
- 4** 4.1.1 When reconstructing street corners to meet CDOT and ADA accessibility standards, provide corner bumpouts to reduce the crossing distance at intersections and enhance public safety.
- 5** 4.3.1 Create a safe and inviting public realm including high quality paving materials, lighting, plantings, and sidewalk furnishings.

### LEGEND:

- |  |                               |
|--|-------------------------------|
| <b>1</b> Vehicular Turnaround              | <b>8</b> Public Art           |
| <b>2</b> Landscape Buffer and Fencing      | <b>9</b> Private Dining Area  |
| <b>3</b> Gathering Space w/ Site Furniture | <b>10</b> Outdoor Dining Area |
| <b>4</b> Bench                             | <b>11</b> Street Trees        |
| <b>5</b> Terraced Seating Area             | <b>12</b> Landscape Feature   |
| <b>6</b> Gathering Space (Open Lawn)       | <b>13</b> Specialty Pavement  |
| <b>7</b> Outcropping Stone                 | <b>14</b> Entrance Plaza      |





**WEST LOOP DESIGN GUIDELINES CONFORMANCE**

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**LEGEND:**

- 1** Sidewalk
- 2** Shade Tree
- 3** Secondary Path
- 4** Bench
- 5** Public Art
- 6** Outcropping Stone
- 7** Landscape Buffer and Fencing
- 8** Lawn





**OPEN SPACE RENDERING**



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**OPEN SPACE RENDERING**



**OPEN SPACE RENDERING**

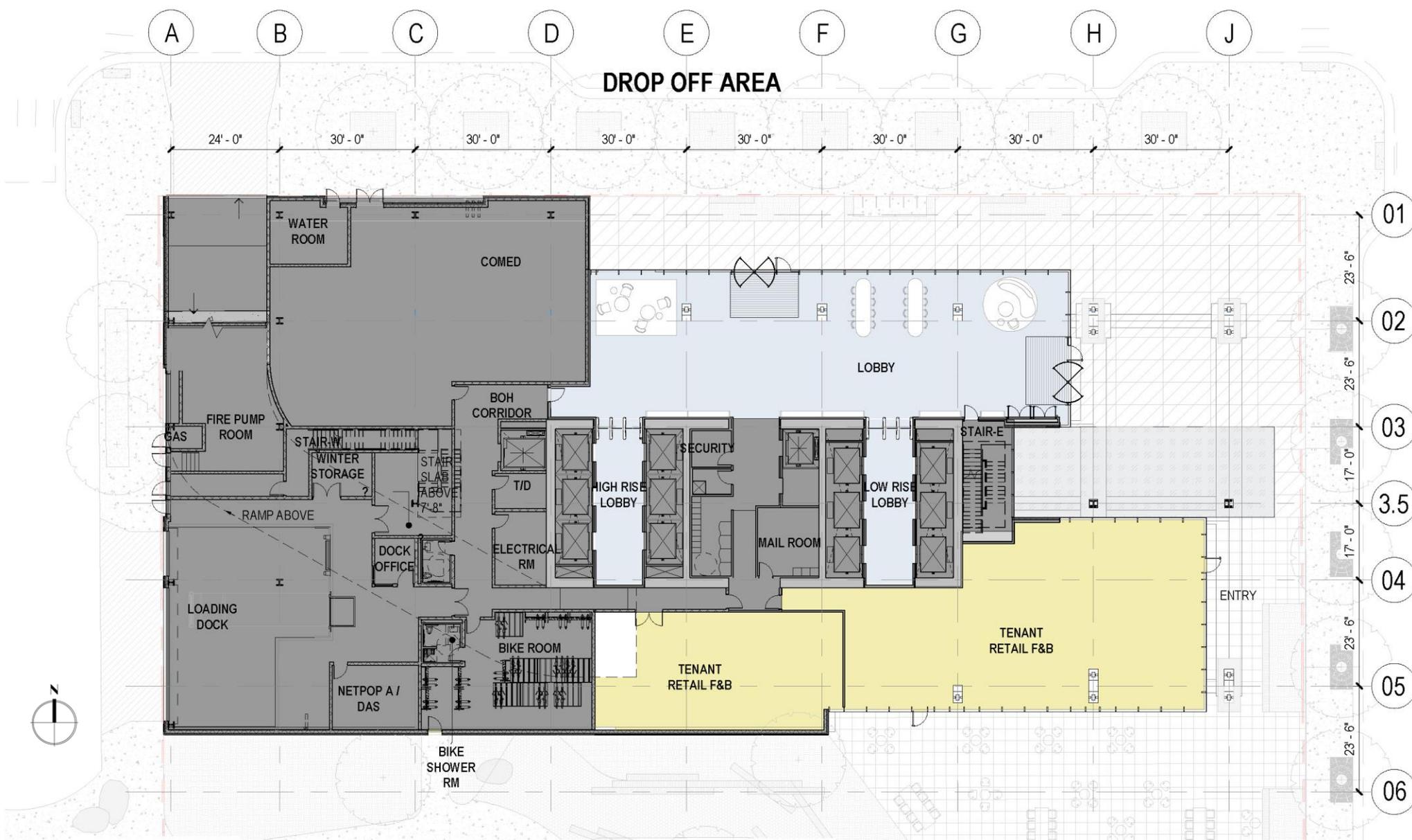


**OPEN SPACE RENDERING**

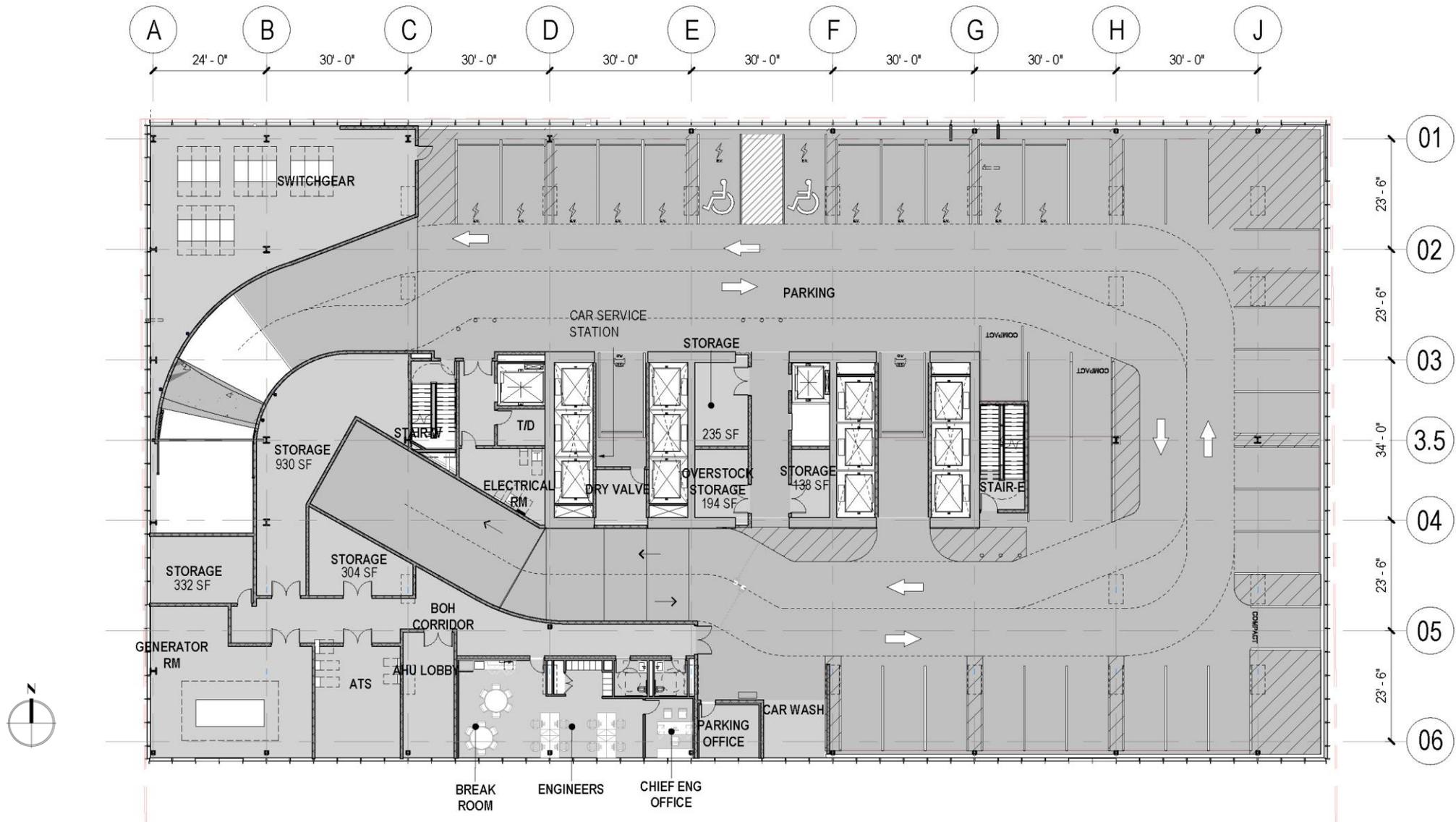
# SITE PLAN / LANDSCAPE

## OPEN SPACE AND PUBLIC REALM DESIGN PRECEDENTS

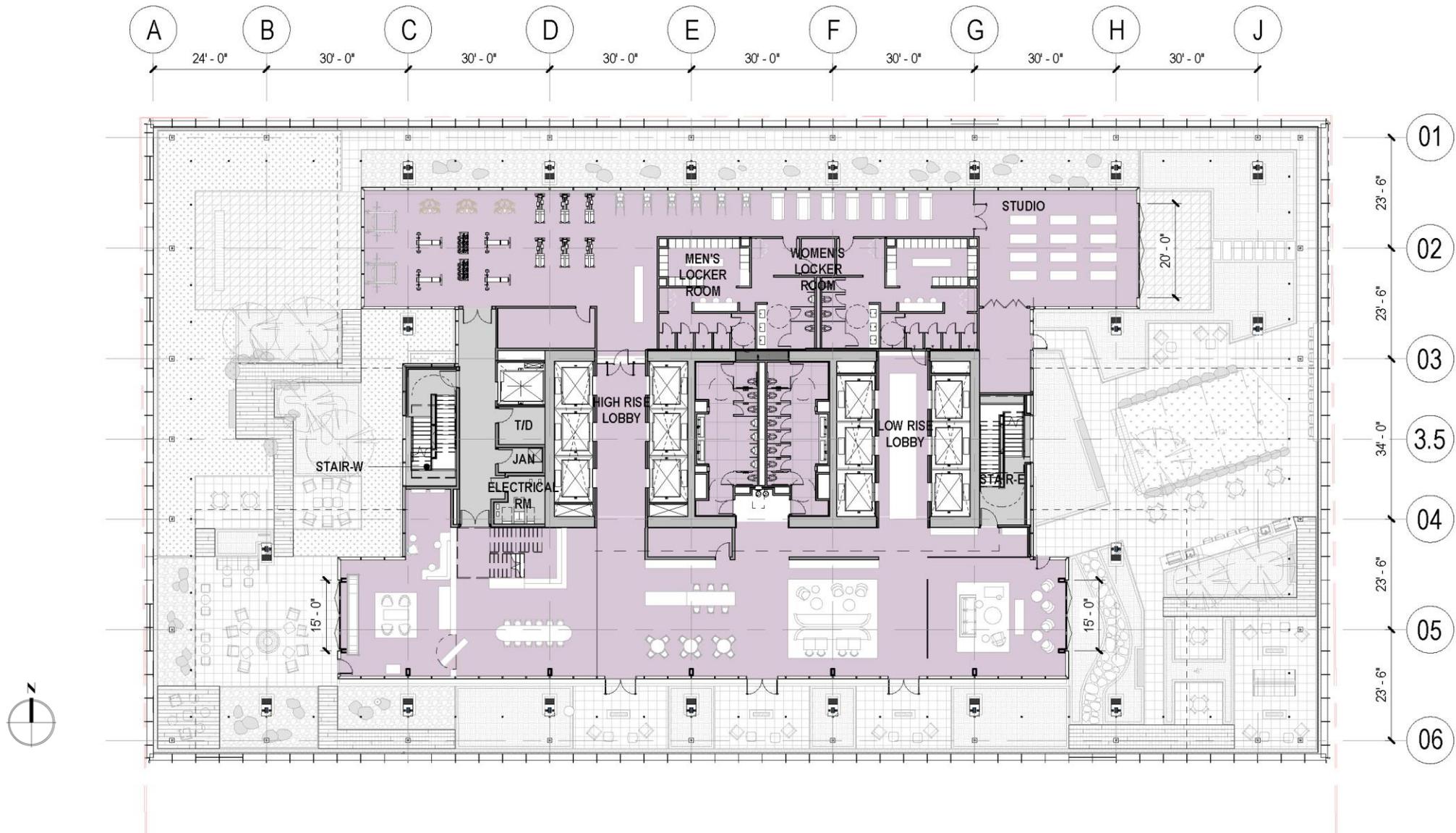




**GROUND FLOOR PLAN**



**LEVEL 2 FLOOR PLAN - PARKING**



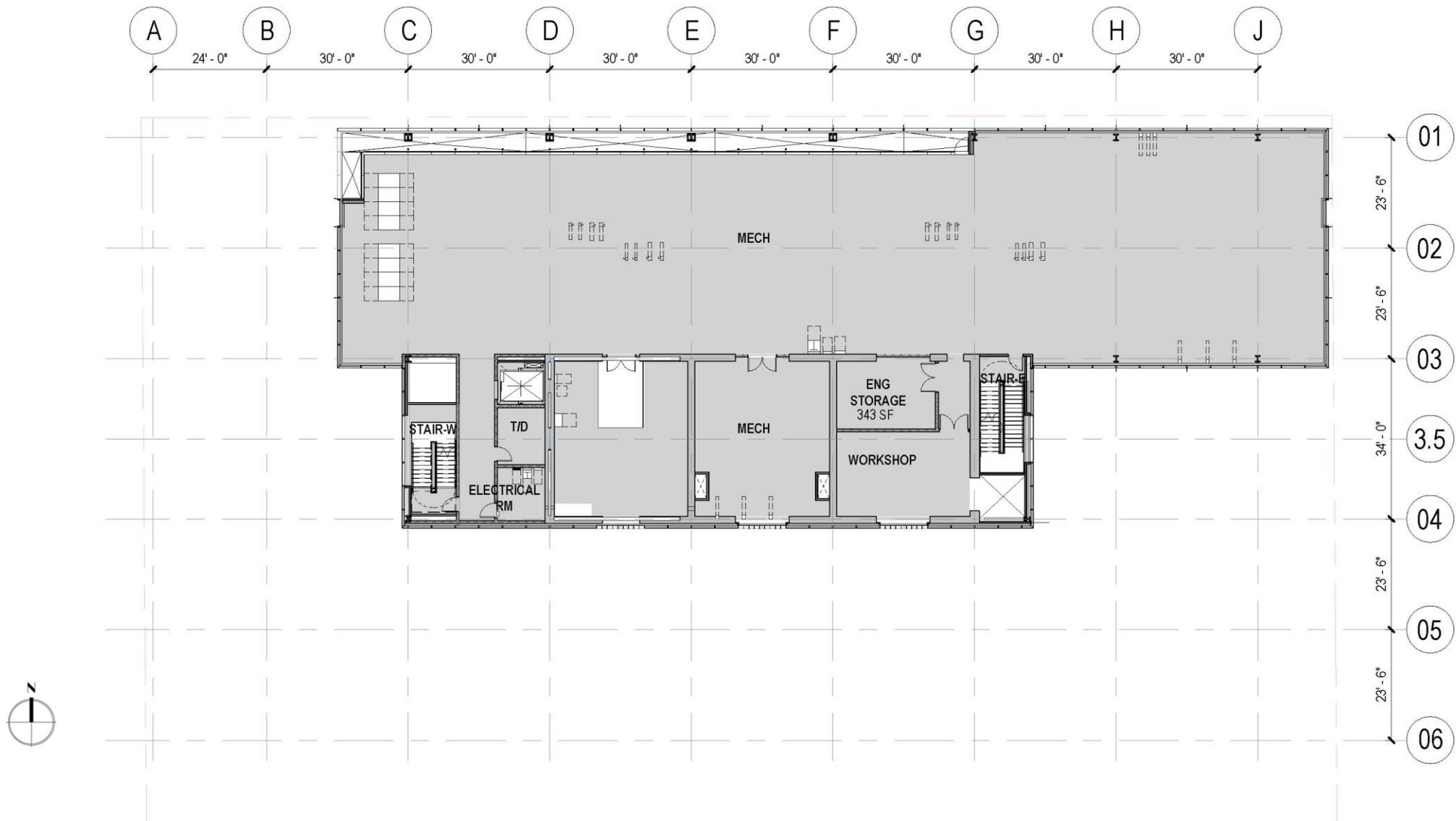
**LEVEL 4 FLOOR PLAN - AMENITY**



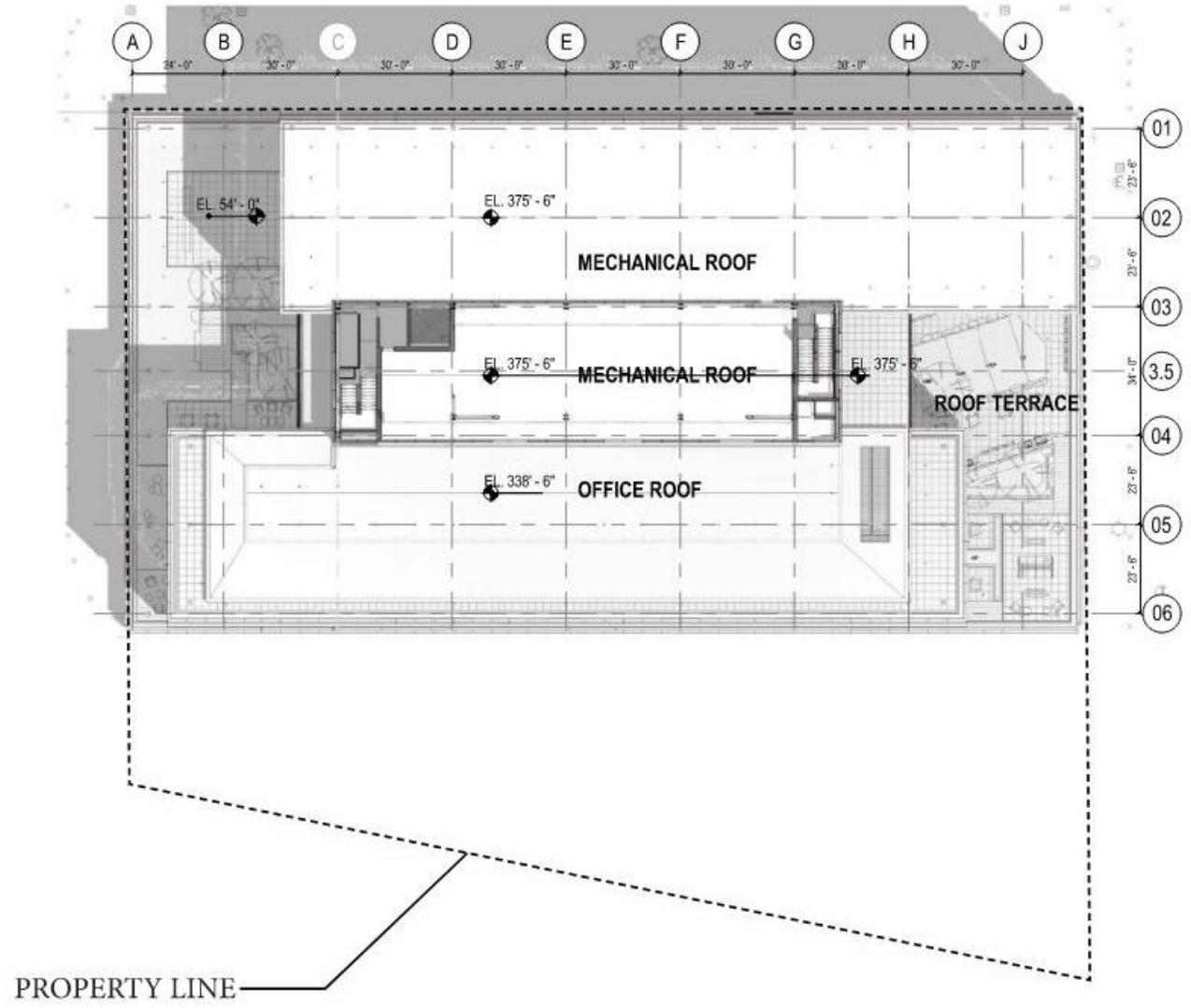
**LEVEL 6-14 TYPICAL FLOOR PLAN – LOW RISE**



**LEVEL 17-22 TYPICAL FLOOR PLAN – HIGH RISE**



**LEVEL 25 MECHANICAL FLOOR PLAN**



# ROOF PLAN



360

**PEDESTRIAN VIEW FROM NORTHEAST DIRECTION**

# WEST LOOP DESIGN GUIDELINES:



Secured bicycle storage and parking will be provided within buildings.

Multiple entries along a street block-face are provided to enhance the activity of the street. Office entry along Kinzie and Green, Retail entry along Green and south park.

• The building design and orientation are designed to create an active street wall.

• The tower portion of the building provide an upper level set-back to respect the existing scale of the street.

• Above grade parking level is built to the property line and congruent with existing street wall conditions in the West Loop, fully screened and buffered from the public view.

• Loading, access to parking and other back of house facilities are located to not interfere with the public right of way or streetscape.

• The building corner Green and Kinzie is setback to provide an urban plaza and create protected pedestrian pathways.

• The building is designed into thinner structures to allow for publicly accessible open space on site. This space could be used for outdoor cafes, or for leisure space for building occupants and the general public.

• Ground floor retail extends the public realm from Green to Morgan creating a pedestrian experience through materiality, landscape and furnishings to activate the ground level.



**AERIAL VIEW FROM SOUTHEAST DIRECTION**



**NORTHEAST RENDERING**



**NORTHWEST RENDERING**



**EAST RENDERING**

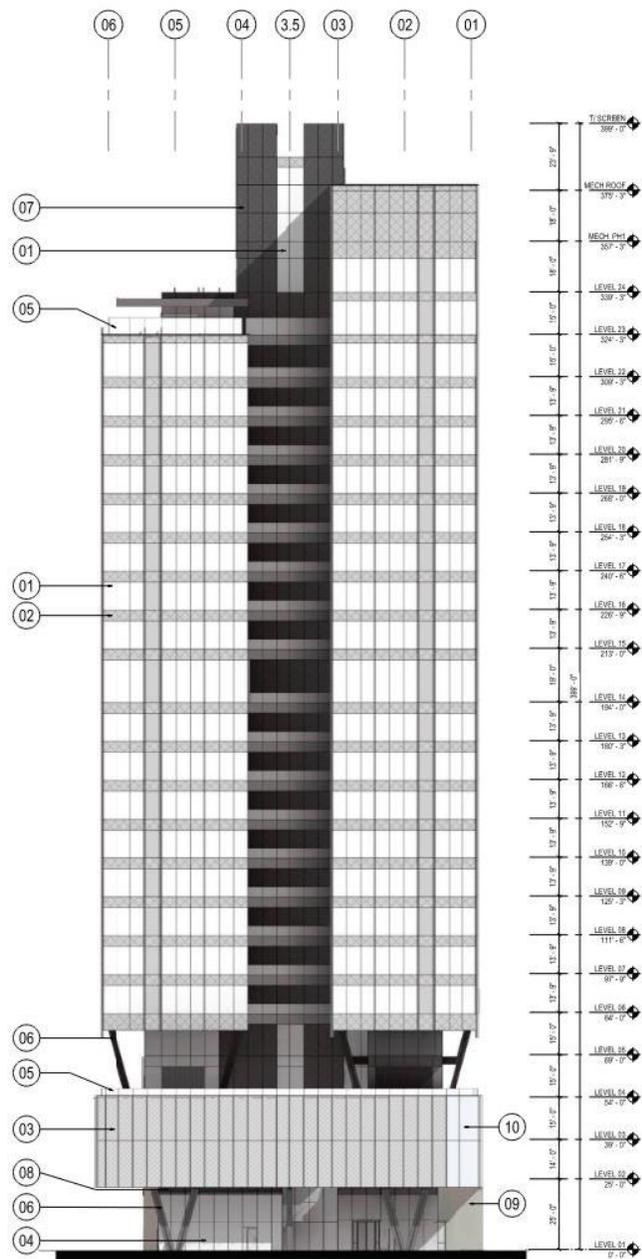


**WEST RENDERING**



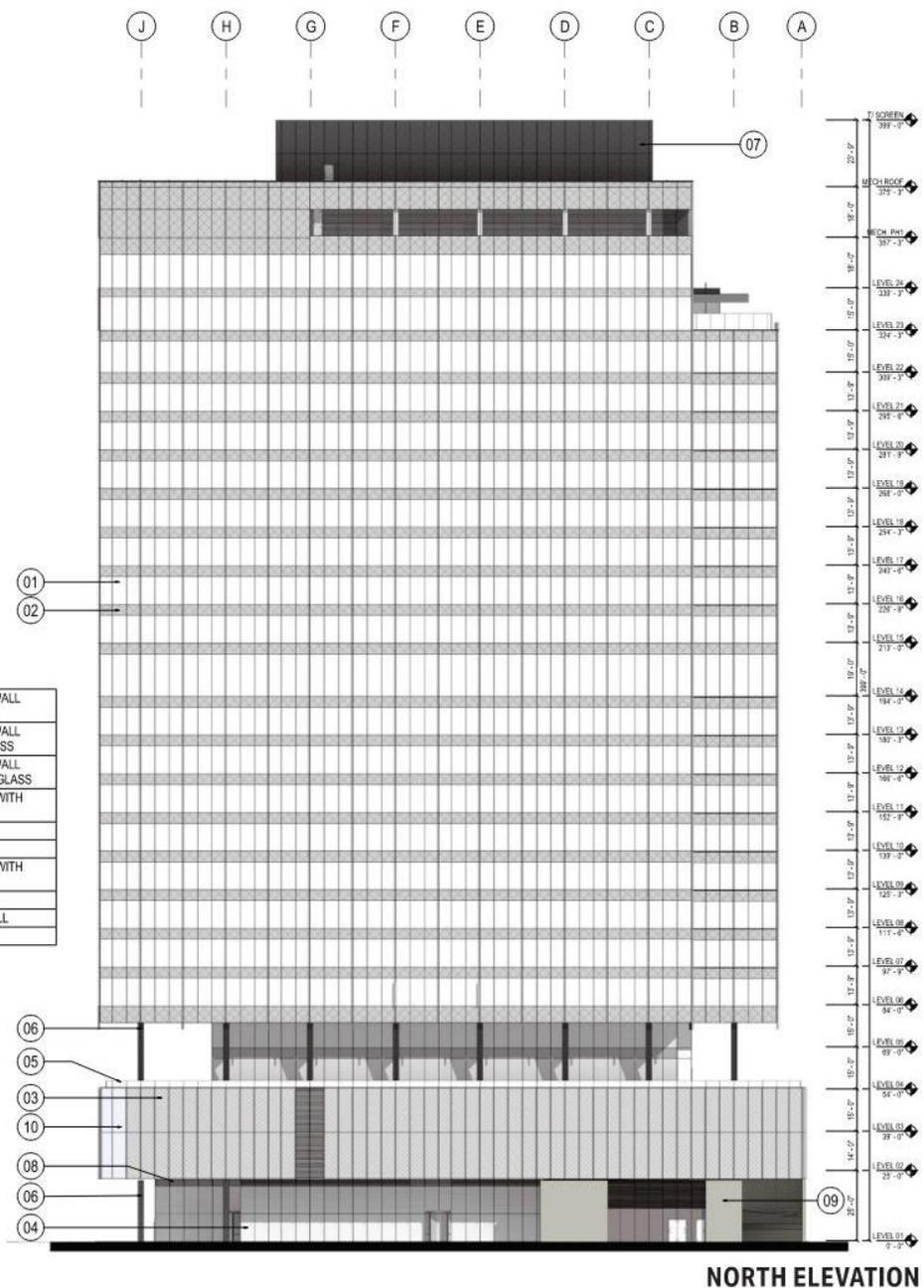
**SOUTHWEST RENDERING**

01	ALUMINUM FRAME CURTAIN WALL SYSTEM WITH VISION GLASS
02	ALUMINUM FRAME CURTAIN WALL SYSTEM WITH SPANDREL GLASS
03	ALUMINUM FRAME CURTAIN WALL SYSTEM WITH BACKPAINTED GLASS
04	CURTAIN WALL SSG SYSTEM WITH VISION GLASS
05	GLASS RAILING
06	METAL COLUMN CLADDING
07	CURTAIN WALL SSG SYSTEM WITH BACK-PAINTED GLASS
08	TRELLIS BAND
09	CONCRETE OR MASONRY WALL
10	METAL PANEL



EAST ELEVATION

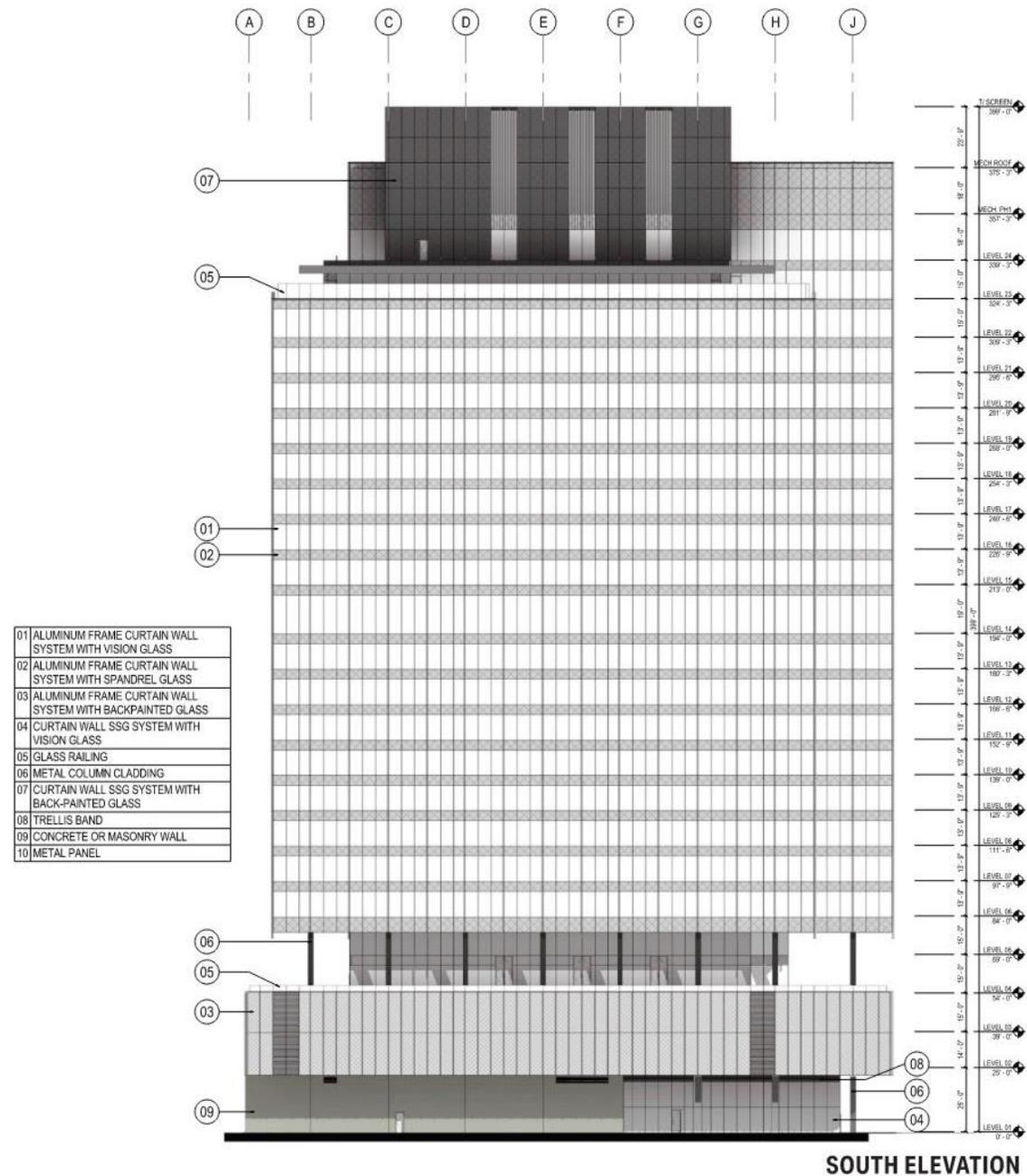
# BUILDING ELEVATION (EAST)



01	ALUMINUM FRAME CURTAIN WALL SYSTEM WITH VISION GLASS
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NORTH ELEVATION

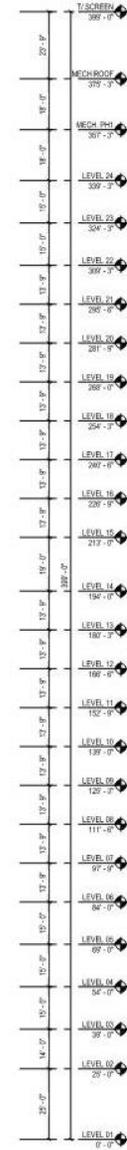
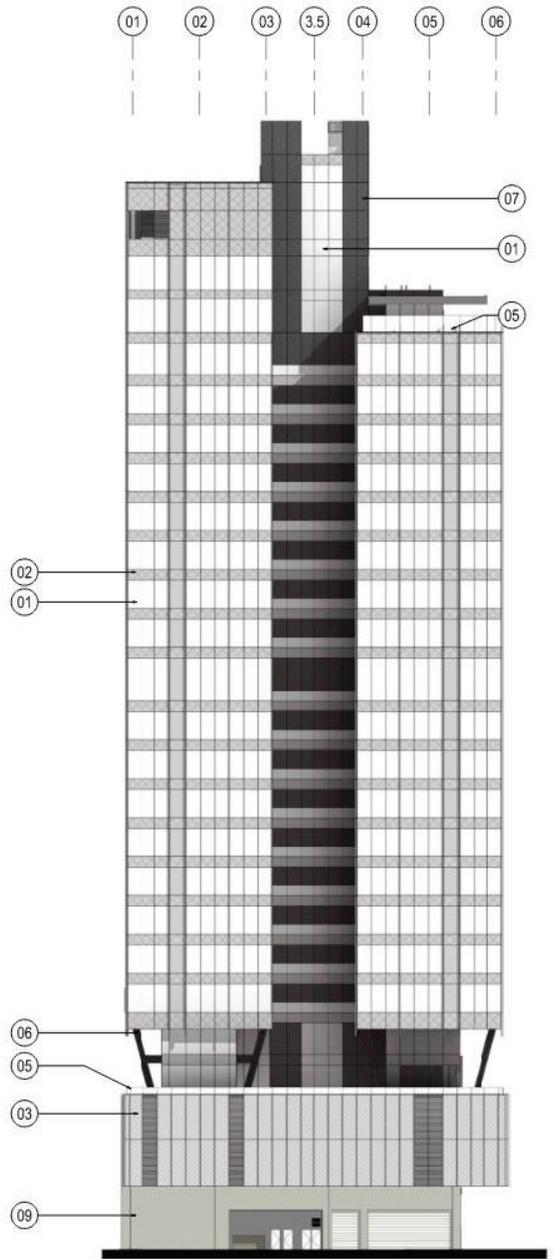
# BUILDING ELEVATION (NORTH)



**SOUTH ELEVATION**

**BUILDING ELEVATION (SOUTH)**

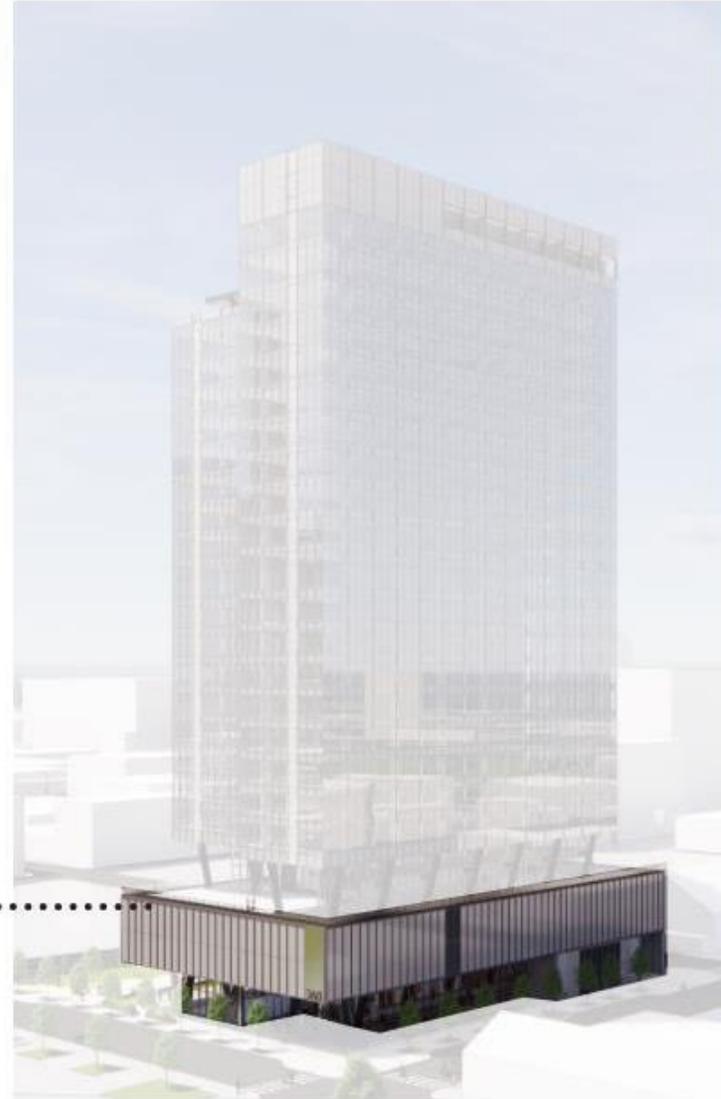
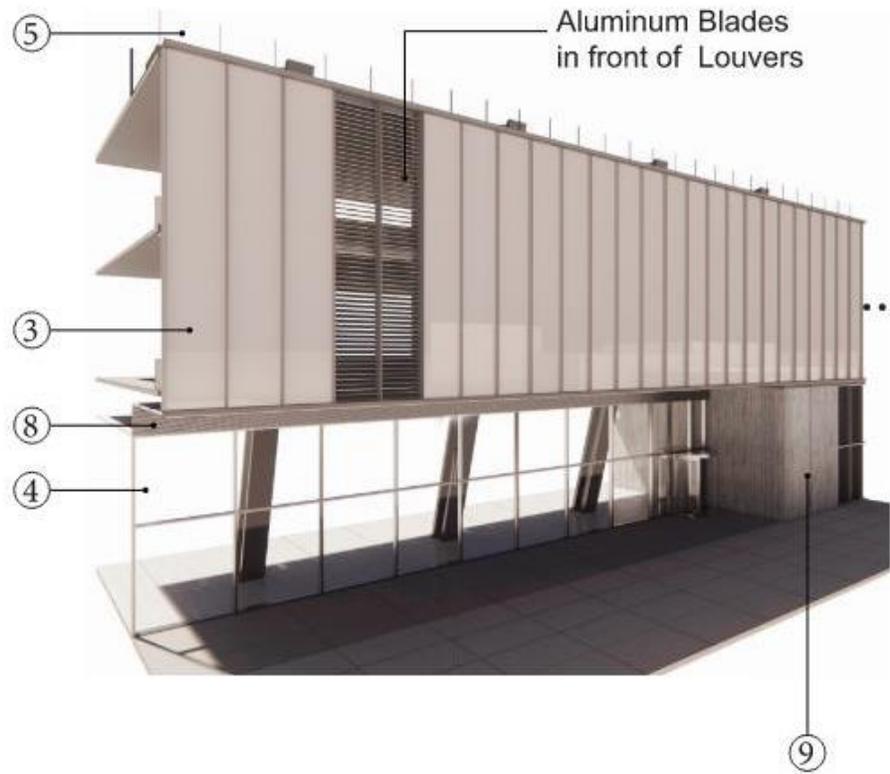
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WEST ELEVATION

# BUILDING ELEVATION (WEST)

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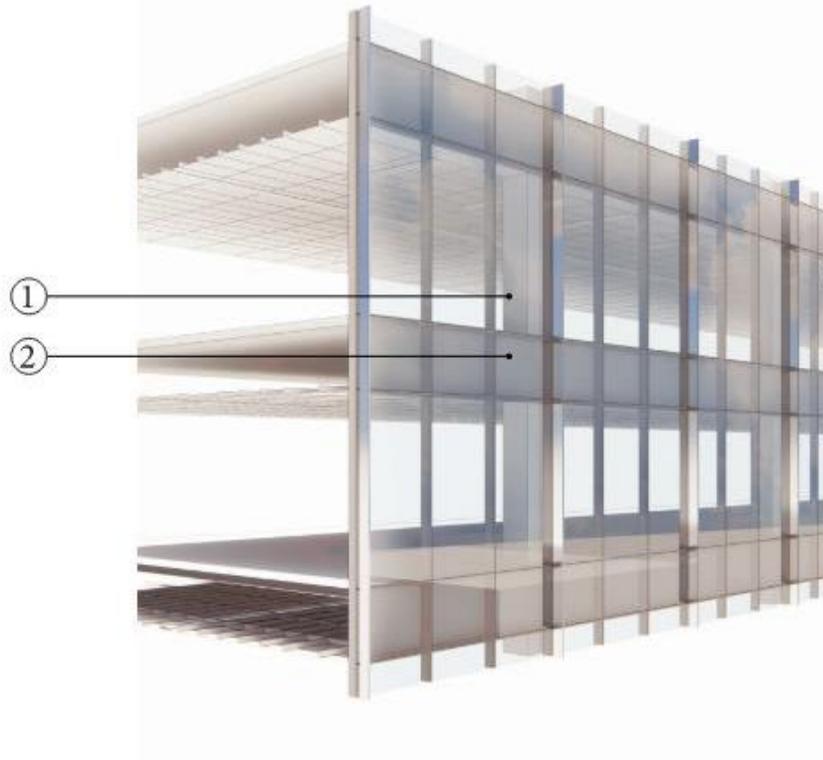


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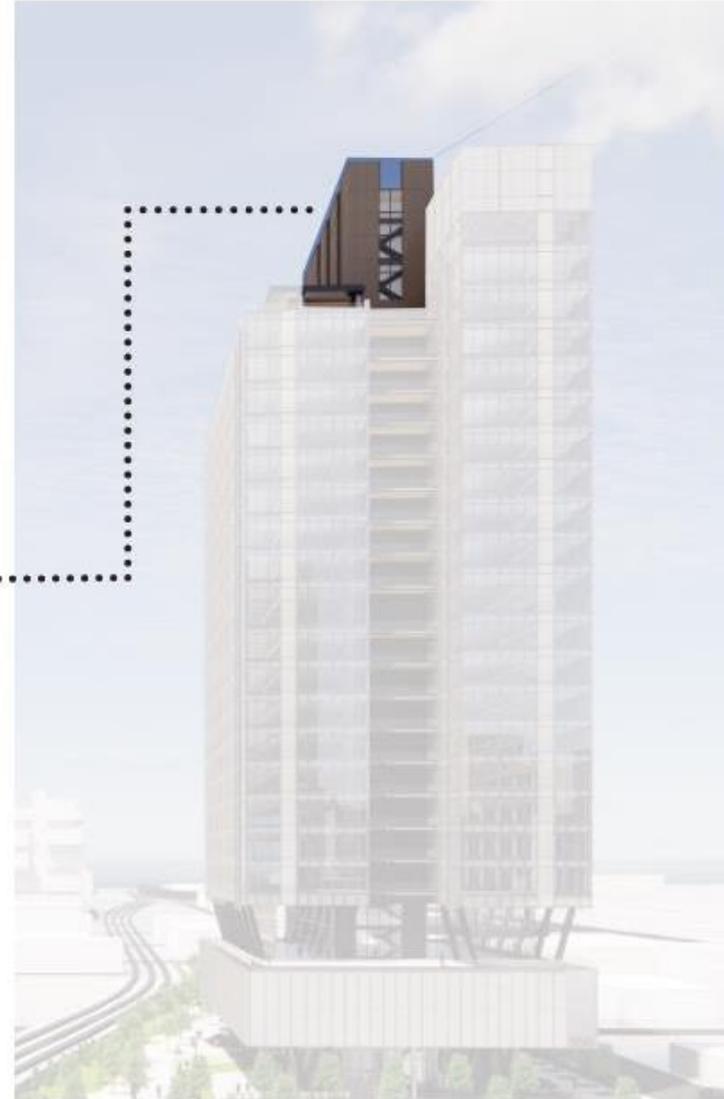
## AMENITY FLOORS FAÇADE

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## OFFICE TOWER FAÇADE

01	ALUMINUM FRAME CURTAIN WALL SYSTEM WITH VISION GLASS
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# CROWN FAÇADE

NET SITE AREA = 61,900SQ.FT.  
AREA IN RIGHT OF WAY= 34,735 SQ.FT.  
GROSS SITE AREA = 96,635 SQ.FT

**17-8-0904-A-:**

The project promotes safe and efficient pedestrian, bicyclist & vehicular circulation by allocating all vehicle traffic into private and public alleys.

Adequate bicycle and vehicle parking is provided on-site while also respecting the TOD nature of the site.

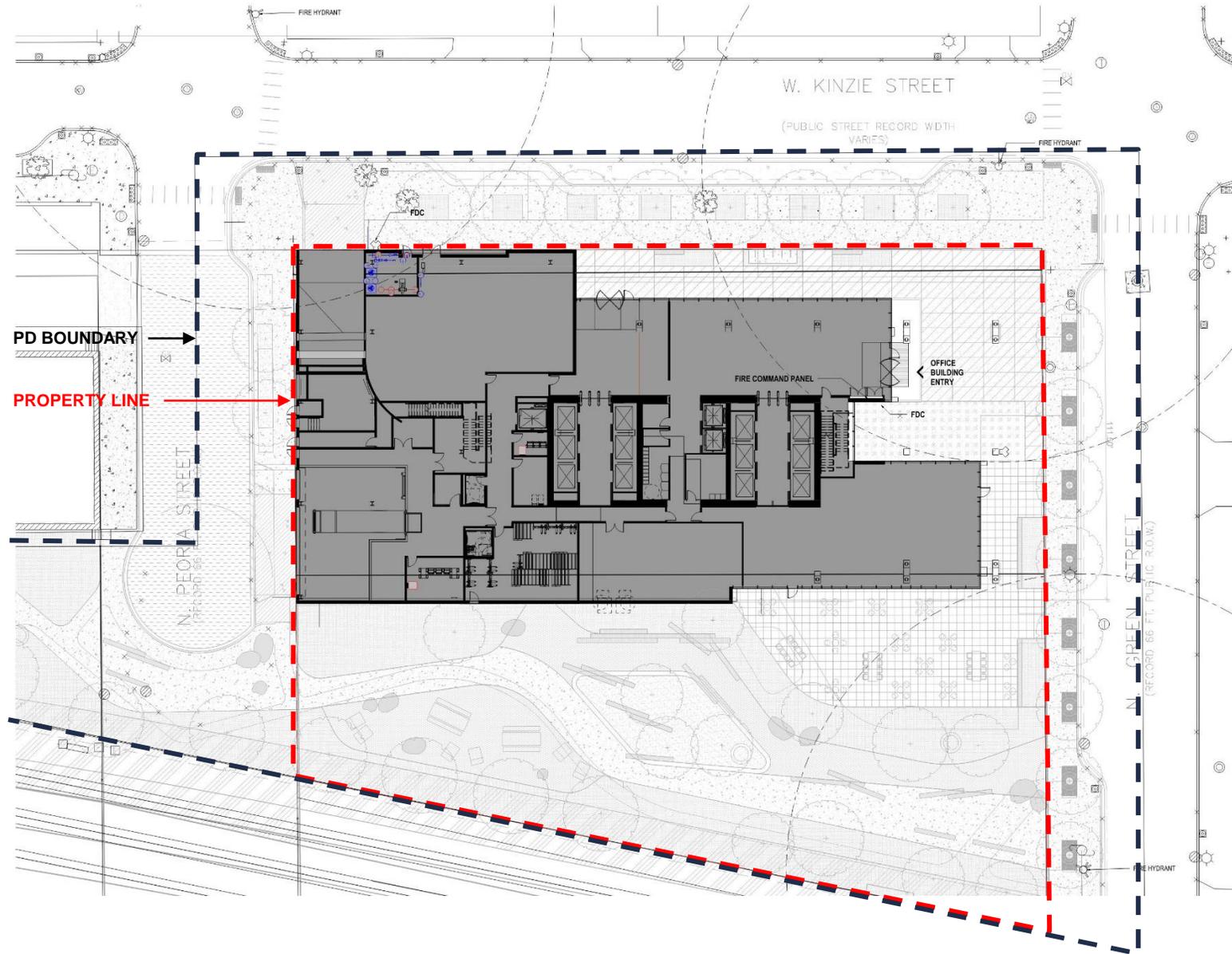
Existing traffic patterns are respected, and new traffic will be mitigated by location of private alleys and curbside drop-off and pick-up zones.

**17-8-0904-B-:**

All streets and sidewalks shall be reconstructed according to CDOT standards.

**17-8-0904-D:**

Above-grade garage areas are lined with architectural façade articulation to screen the garage use from public view.



**17-8-0906:**

The project complies with section 17-8-0906 by providing clear vision glass at a majority of the grade level with retail located at north green street and south plaza side

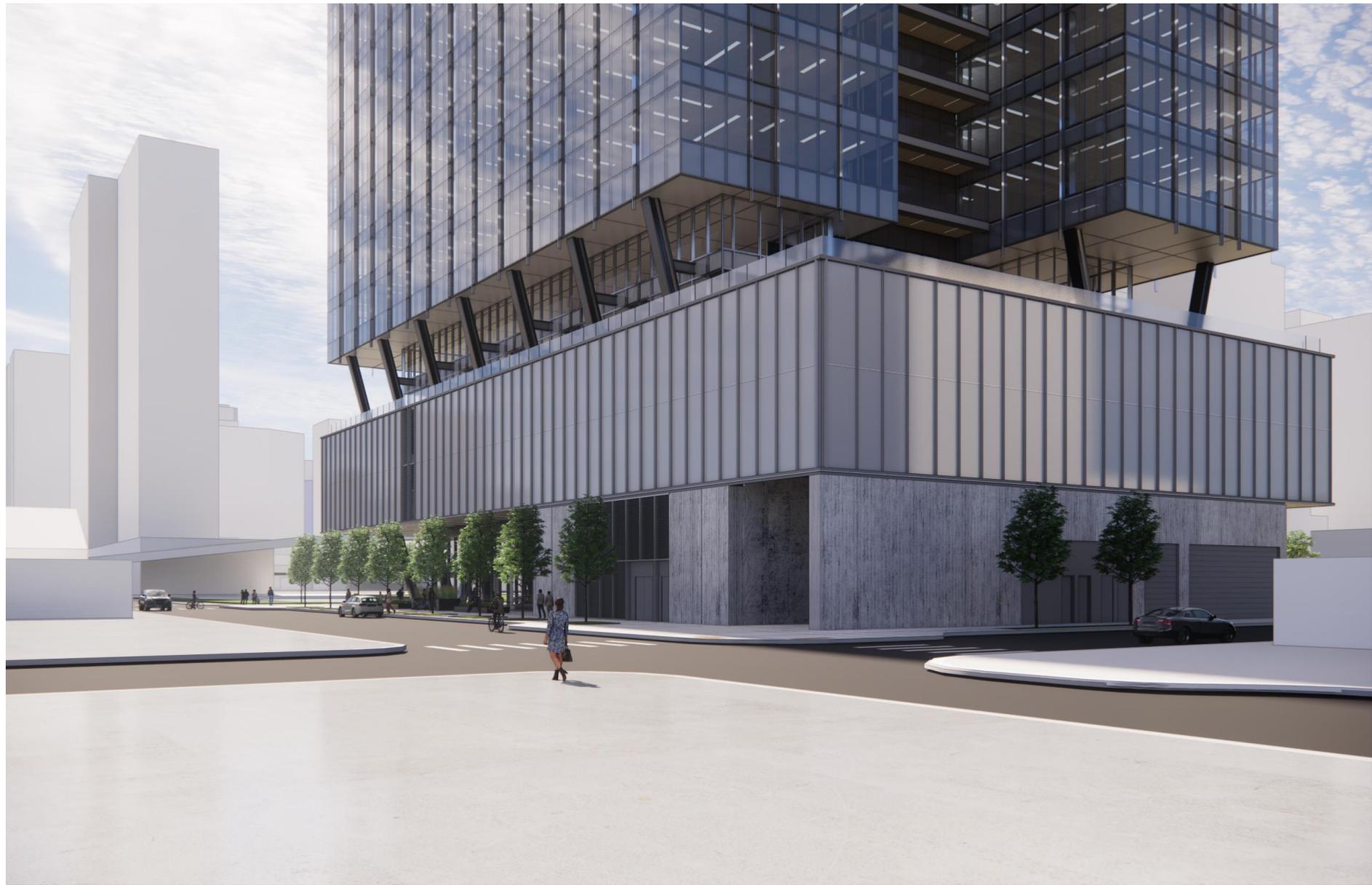
**17-8-0905:**

Main entry plaza;  
The project complies with section 17-8-0905 by providing safe and attractive walkways and pedestrian routes. The project also provide spaces at street level that are designed for activate users such as the entry plaza and southwest corner plaza.



**17-8-0907:**

The project complies with Sec. 17-8-0907. The design of the building responds to the context of the West Loop at the pedestrian level, while also creating a visually dynamic façade that responds to the modern architecture of the City of Chicago.



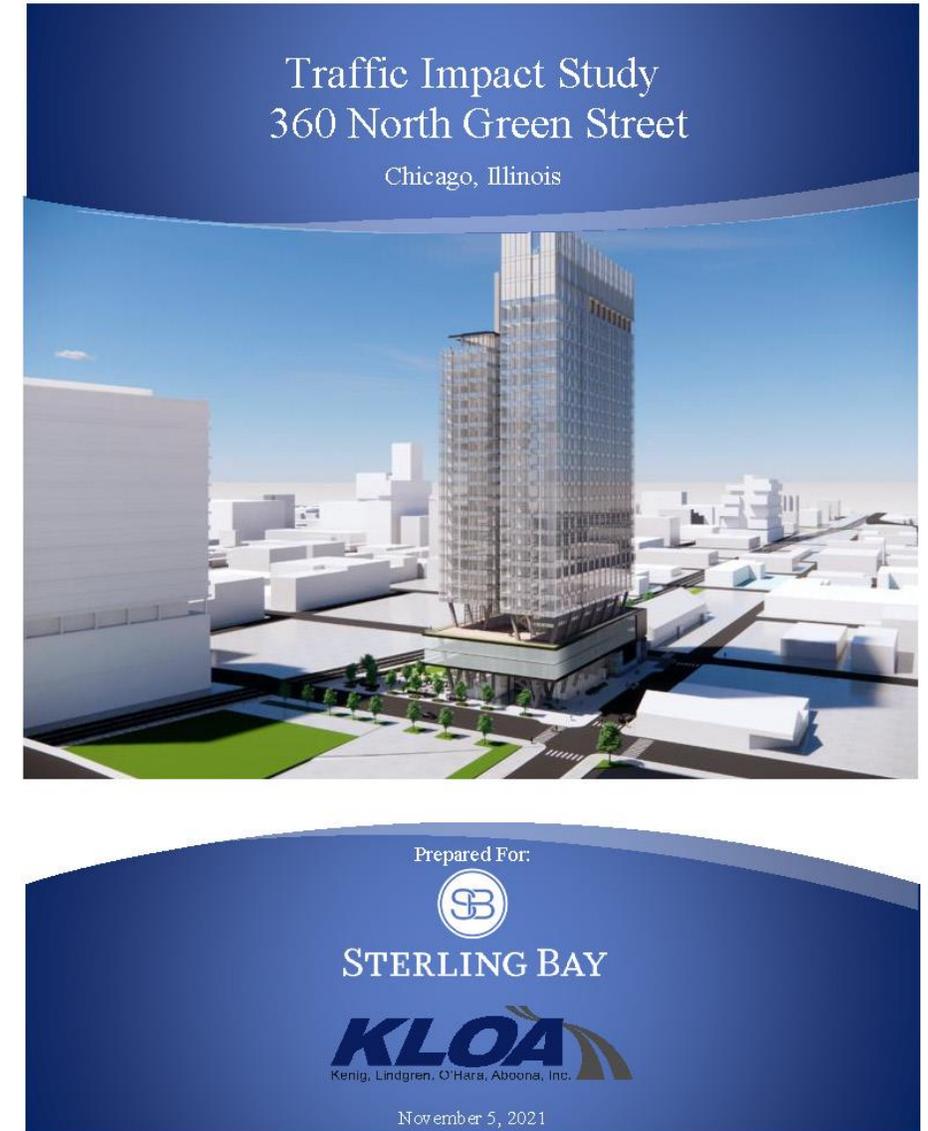
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The building is designed into thinner structures to allow for publicly accessible open space on site. This space could be used for outdoor cafes, or for leisure space for building occupants and the general public.



# URBAN DESIGN

- Overall, the existing street system has adequate capacity to accommodate the traffic that will be generated by the proposed development.
- Access drive on Kinzie Street will be able to adequately accommodate traffic to the proposed development.
- High-visibility crosswalks will be provided on the west and south legs of the intersection of North Green Street with Kinzie Street.





## Community Considerations

- Renovated streetscapes & added pedestrian safety at intersections
- Increased open space +/- 30% from previously-approved PD
- Enhanced open space: added seating, lighting, art walk, and improved connection to Morgan Street

## Overall Economic Impact

- Neighborhood Opportunity Bonus Fund Payment: \$4,451,848
- Industrial Conversion Fee: \$758,275
- Projected Real Estate Taxes: \$8,800,000
- MBE/WBE Participation Goal: 26% / 6%
- Total project cost: \$288 million
- Estimated construction jobs created: 473
- Estimated permanent jobs created: 2,498



# DPD Recommendations

The proposed amendment to Business Planned Development #1407 is appropriate for the following:

1. It **complies with all Planned Development standards and guidelines** (17-8-0900 and 17-13-0609-A);
2. It is **compatible with the character of the surrounding area in terms of uses, density and building scale** (17-13-0609-B). The materials, uses and density of the project are consistent with the surrounding land uses and the goals and objectives of the West Loop Design Guidelines (2017);
3. Public **infrastructure facilities and city services will be adequate** to serve the proposed development at the time of occupancy (17-13-0609-C);
4. The proposal is **compatible with surrounding zoning** (17-13-0308-D). The proposed amendment results in a development which is compatible with surrounding zoning districts and planned developments.

