

CITY OF CHICAGO
AN APPLICATION TO THE CHICAGO PLAN COMMISSION UNDER THE LAKE MICHIGAN AND CHICAGO LAKEFRONT PROTECTION ORDINANCE

(This Application Must Be Typewritten)

The Chicago Plan Commission has provided this Application in accordance with Section 194B-6.1(a) of the Lake Michigan and Chicago Lakefront Protection Ordinance. The Conditions under which the provisions of this Ordinance are applicable are stated in Section 194B-5.1 of the Ordinance. The process of Plan Commission review and public hearing on each proposal within the Lake Michigan and Chicago Lakefront Protection District will commence with the Applicant's submission, to the Chicago Plan Commission, of a completed Application and the required proof of notice. Strict compliance with Section 194B-6.1(c) is required.

The staff of the Department of Housing and Economic Development is available to provide technical assistance to the Applicant, before preparation of the Application, during the process stages and to review the Application upon submission to the Chicago Plan Commission. Copies of the Ordinance, Application and examples of forms for both notification and proof of notice are available from the:

Department of Housing and Economic Development
City Hall
121 North LaSalle Street
Room 905
Chicago, IL 60602
(312) 744-5777

This Application consists of five (5) parts:

- Part One – General Information
- Part Two – Character of the Proposal
- Part Three – Zoning Information
- Part Four – Potential Impact of the Proposal
- Part Five – Disclosure Forms

A copy of this Application will be available for public inspection in City Hall, Room 905, five (5) days prior to the date of which the public meeting before the Chicago Plan Commission on this Application is to be held.

SECTION BELOW FOR OFFICE USE ONLY

Date of Receipt in DHED: _____	ZBA Action Necessary: _____ Yes _____ No
Date of Receipt in Buildings: _____	Type and Status: _____
Date of Applicant Notice to Taxpayers of Record: _____	Disclosure Necessary: _____ Yes _____ No
Date Set for Public Hearing: _____	Simultaneous Planned Development Processing: _____ Yes _____ No
Date on which Plan Commission Published Newspaper notice: _____	Previous Application for this Address: _____ Yes _____ No
Date of Publication of Report of Commissioner of DHED: _____	Application Number _____
Date Forwarded	Zoning Map Amendment: _____ Yes _____ No
DIS: _____	Disposition:
DSS: _____	Approved: _____
CDOT: _____	Disapproved: _____
PKD: _____	Continued: _____
Other: _____	Date Applicant Notified of Decision: _____

SITE ADDRESS: _____

GUIDELINES FOR COMPLETING PART ONE OF THE APPLICATION

Part One of this Application provides general information to the Chicago Plan Commission for use in preparing its public notices of the proposal set forth in the Application and in preparing its review of that proposal.

1. The date entered in (I.) should be the date on which the Application is filed.
2. The location of the site of the proposal should be given by street address; if there is no street address, the location must be described in relation to nearest existing streets, rights-of-way or other fixed points of reference.
3. The Applicant must state his own name, address and telephone number and the name, address and telephone number of the owner of the subject property (if different). The Applicant must be either the owner of the subject property or the owner's duly authorized agent or representative; if the Applicant is the owner's duly authorized agent or representative, the Applicant must submit proof to the Chicago Plan Commission at the time the Application is filed of such authorization.

Whenever the ownership of the subject property takes the form of something other than a singular living individual (partnership, corporation, trust, etc.) the Applicant shall so indicate. Furthermore, the Chicago Plan Commission may require disclosure of all parties having interest in the subject property.

4. The description of a proposal should include, at a minimum, types of land uses and space uses, floor area, number of dwelling units and structure height (in feet and stories). Any additional information describing the proposal should also be included.
5. Under the provisions of Section 194b-6.1(c) of the Lake Michigan and Chicago Lakefront Protection Ordinance, the Chicago Plan Commission will not accept an Application until the Applicant submits to the Chicago Plan Commission a list of names and last known addresses of the owners of all property on which notice must be served, the names and addresses of persons so served (if different), the method of service employed and a statement certifying that the Applicant has complied with all applicable noticing provisions in effect at the time of filing.
6. If there are any other approvals required from other public agencies before the Applicant can proceed with their proposal, those approvals must be listed; except that other City of Chicago licenses and permits may be omitted. If no other approvals are required, enter "NONE" under (VI. A.). Examples of items which should be listed include approvals from the:
 - United States Department of Housing and Urban Development Federal Housing Administration
 - United States Army Corps of Engineers
 - Federal Aviation Administration
 - State of Illinois Department of Natural Resources

PART ONE: GENERAL INFORMATION

I. Date of Application: _____

II. Address or Location of the Site of the Proposal: _____

III. Information on the Applicant and/or Owner:

A. Applicant
Name: _____
Phone: _____
Address: _____

B. Owner (if different)
Name: _____
Phone: _____
Address: _____

C. If the Applicant is not the Owner, initial here _____ that proof has been attached to this Application that the Applicant is the duly authorized agent or representative of the Owner.

D. If the ownership of the subject property takes the form of something other than a singular living individual (partnership, corporation, trust, etc.), please indicate such: _____

IV. Brief Description of the Proposal: _____

V. Initial here: _____ verifying that the noticing provisions of Section 194B-6.1(c) have been completed as they apply to the Applicant and this Application.

VI. The Applicant must also obtain the following approvals, in addition to the approval of the Chicago Plan Commission (provide an addendum, if necessary):

A. Nature of the Approval: _____

Agency: _____

B. Nature of the Approval: _____

Agency: _____

C. Nature of the Approval: _____

Agency: _____

GUIDELINES FOR COMPLETING PART TWO OF THE APPLICATION

All graphic materials must be submitted in an 8.5" x 11" format and must be suitable for clear and sharp, black and white production. Each map or diagram should have a scale and a north arrow. Each sheet of graphic material must be labeled with the appropriate figure number. If there are multiple sheets comprising one figure (for example figure 4), those sheets should be labeled consecutively (Figure 4-1, Figure 4-2, Figure 4-3, etc); and, each sheet should contain the address of the site of the proposal.

For Figure 1, the Applicant should consider the "vicinity of the site" to be at least as extensive as the area for which he is required to give notice, plus any intervening streets or other public rights-of-way.

For Figures 3 and 4, the Applicant should consider that "recreation areas" and "recreation space and facilities" include game courts, swimming pools and pool areas, game rooms, exercise rooms, party rooms, community rooms, observation decks and sun decks.

The required narrative statement should describe the features of the proposed development, including size and mix of dwelling units, mix of uses on the site, etc. It should present a basic rationale for the development.

For Figure 6, the Applicant is urged to provide any materials at 8.5" x 11" which will facilitate the review of the Application.

PART TWO: CHARACTER OF THE PROPOSAL

This portion of the Application must be completed by attaching the following items, correctly sized and labeled, to the Application.

- I. Figure 1: Map of the Vicinity of the Site, showing (and labeling) Lake Michigan, lakefront parks, preferential streets, schools, parks, major institutions and significant developments. All streets on this map should be labeled and all building footprints within the vicinity of the subject site should be outlined and all structure heights should be identified.
- II. Figure 2: Map of the Existing Site, showing locations and dimensions of lot lines, contour intervals (5'), existing structures, walkways, driveways and any other special features.
- III. Figure 3: Proposed Site Plan showing locations and dimensions of proposed structures, driveways walkways, parking areas, open space and recreational areas.
- IV. Figure 4: Proposed Floor Plans, including the ground floor, a typical floor and any floors with recreational space or facilities.
- V. Figure 5: Elevation or Cross-Section, showing the height and number of stories for all proposed structures.
- VI. Narrative: Statement Describing the Proposed Development.

The Applicant is encouraged to provide additional graphic materials, visual aids, photographs, full-color renderings, data tables, etc; any such exhibits should be labeled "Figure 6".

PART THREE: ZONING INFORMATION

The Applicant must provide the following data regarding zoning considerations for the site subject to this proposal; all applicable calculations must be provided via an addendum.

- I. Is a Planned Development ordinance or an amendment to an existing Planned Development required or permitted in order to allow for the proposal on this subject site?

Required _____ Permitted _____ NA _____

If a Planned Development is required, or if it is permitted and the Applicant chooses to pursue the designation, the Applicant is not required to complete the remainder of Part Three of this Application.

- II. Is a Zoning Board of Appeals approval of a variation or special use required or contemplated in order to allow for the proposal on the subject site?

Yes _____ No _____

If Yes, please explain the nature of the matter that ZBA will need to consider: _____

- III. Square Feet of Net Site Area(s) and Existing Zoning District Classification(s); provide an addendum, if necessary:

Sub-Area I: Zoning District Classification _____	Net Site Area _____
Sub-Area II: Zoning District Classification _____	Net Site Area _____
Sub-Area III: Zoning District Classification _____	Net Site Area _____
Total Net Site Area _____	

- IV. Dwelling Units
Maximum Units Allowed without Efficiency Units _____
Maximum Units Allowed including Maximum Percentage of Efficiency Units _____

Proposed Number of Dwelling Units _____
Proposed Number of Efficiency Units _____
Proposed Number of Total Units _____

Does the Applicant intend to increase allowable floor area by reducing the number of units constructed below the maximum allowed?

Yes _____ No _____

If Yes, please specify the number of units, below the maximum allowed, that the project will be reduced by _____ and the corresponding Floor Area Ratio percentage increase _____ that will be requested.

V. Bulk

Base Floor Area Ratio, without Bonuses _____

Proposed Floor Area Ratio, including all Bonuses _____

List all Bonuses being requested: _____

Proposed Floor Area _____ sq. ft.

Percentage of floor area devoted to interior recreation space, meeting rooms, etc _____

VI. Off-street Parking and Loading

	<u>Minimum Required</u>	<u>Number Proposed</u>
Parking Spaces	_____	_____
Loading Docks	_____	_____

VII. Setbacks

	<u>Minimum Required</u>	<u>Number Proposed</u>
Front Yard	_____	_____
Side Yard	_____ (28ft)	271' on north*, 302' on south*
Rear Yard	_____ (28ft)	_____

* no change proposed

PART FOUR: POTENTIAL IMPACT OF THE PROPOSAL

The Chicago Plan Commission requires that the Applicant address the following Fourteen (14) Basic Policies of the Lakefront Plan of Chicago and the Thirteen (13) Purposes of the Lake Michigan and Chicago Lakefront Protection Ordinance in a written statement to the Commission attached to this Application and labeled as Part Four. The statement should indicate which Policies or Purposes are or are not applicable to the Applicant's proposal; and, for those Policies and Purposes which are applicable, the statements should discuss the potential impact of the proposal.

I. Fourteen Basic Policies of the Lakefront Plan of Chicago

1. Complete the publicly owned and locally controlled park system along the entire Chicago lakefront.

RESPONSE: The site of the Clarendon Community Center is located in the Public Use Zone and is already publicly owned by the Chicago Park District.

2. Maintain and enhance the predominantly landscaped, spacious and continuous character of the lake shore parks.

RESPONSE: The Clarendon Community Center renovation project will continue to enhance and improve the surrounding landscape and continuous character of the lake shore park systems while also enhancing visitor experience.

3. Continue to improve the water quality and ecological balance of Lake Michigan.

RESPONSE: The Clarendon Community Center renovation project will use stormwater management best practices such as infiltration to handle stormwater and will thereby contribute to the improvement of water quality and ecological balance of Lake Michigan.

4. Preserve the cultural, historical and recreational heritage of the lakeshore parks.

RESPONSE: The Clarendon Community Center renovation project will help to preserve the cultural, historical, and recreational heritage of the lakeshore parks by renovating an existing building within a lakefront park.

5. Maintain and improve the formal character and open water vista of Grant Park with no new above-ground structures permitted.

RESPONSE: Not applicable to this project.

6. Increase the diversity of recreational opportunities while emphasizing lake-oriented leisure time activities.

RESPONSE: The Clarendon Community Center renovation project will increase the diversity of recreational opportunities while emphasizing lake-oriented leisure time activities by providing a fully renovated and accessible park building with increased useable recreation space within its existing footprint.

7. Protect and develop natural lakeshore park and water areas for wildlife habitation.

RESPONSE: The Clarendon Community Center renovation project will protect and enhance the wildlife habitat by renovating an existing active-use facility, thereby leaving other areas of the park undisturbed as wildlife habitation.

8. Increase personal safety.

RESPONSE: The Clarendon Community Center renovation project will increase personal safety by ensuring continued use of an existing facility by community members and visitors.

9. Design all lake edges and lake construction to prevent detrimental shoreline erosion.

RESPONSE: Not applicable to this project, no lakefront edge will be impacted.

10. Ensure a harmonious relationship between the lakeshore parks and the community edge, but in no instance will further private development be permitted east of Lake Shore Drive.

RESPONSE: The Clarendon Community Center renovation project will ensure a harmonious relationship between the lakeshore park and the community edge by improving an existing, popular community hub. The existing building is located west of Lake Shore Drive.

11. Improve access to the lakeshore parks and reduce vehicular traffic on secondary park roads.

RESPONSE: Not applicable to this project, renovation of existing facility.

12. Strengthen the parkway characteristics of Lake Shore Drive and prohibit a roadway of expressway standards.

RESPONSE: Not applicable to this project, will not impact Lake Shore Drive.

13. Ensure that all port, water supply and public facilities are designed to enhance lakefront character.

RESPONSE: Not applicable to this project.

14. Coordinate all public and private development within the water, park and community zones.

RESPONSE: This is a public development within a public park that is being coordinated by the Chicago Park District. The Park District will continue to coordinate and work with all public and private institutions nearby this project as the development proceeds.

II. Thirteen Purposes of the Lake Michigan and Chicago Lakefront Protection Ordinance

1. To promote and protect the health, safety, comfort, convenience and general welfare of the people and to conserve our natural resources.

RESPONSE: The Clarendon Community Center renovation project will promote and protect the health, safety, comfort, and convenience of the general public by enhancing recreational opportunities and updating accessibility, public facilities, lighting and landscaping. This proposal is in no way deleterious to the general welfare of the public. The proposed project will conserve our natural resources by reusing an existing building.

2. To identify and establish the Lake Michigan and Chicago Lakefront Protection District and to divide that District into several zones wherein any and all development or construction, as specified in Article V hereinafter, shall be specifically restricted and regulated.

RESPONSE: The Lakefront Protection Ordinance defines the specific boundaries and zones.

3. To maintain and improve the purity and quality of the waters of Lake Michigan.

RESPONSE: The Clarendon Community Center renovation project will use stormwater management best practices such as infiltration to handle stormwater and will thereby contribute to the improvement of water quality and ecological balance of Lake Michigan.

4. To ensure that construction in the Lake, or modification of the existing shoreline shall not be permitted if such construction or modification would cause environmental or ecological damage to the Lake or would diminish water quality; and, to ensure that the life patterns of fish, migratory birds and other fauna are recognized and supported.

RESPONSE: No construction along the lake edge is included in this project.

5. To ensure that the Lakefront Parks and the Lake itself are devoted only to public purposes and to ensure the integrity of, and expand the quantity and quality of, the Lakefront Parks.

RESPONSE: This proposal is only for public purposes and the features will expand the quality and overall use of this section of the lakefront park system.

6. To promote and provide for continuous pedestrian movement along the shoreline.

RESPONSE: This project does not include improvements along the shoreline, but is located along an existing walkway that provides connection to the lake front trail via Montrose Avenue.

7. To promote and provide for pedestrian access to the Lake and Lakefront Parks from and through areas adjacent thereto at regular intervals of one-fourth (1/4) mile and additional wherever possible; and, to protect and enhance vistas as these locations and wherever else possible.

RESPONSE: The Clarendon Community Center renovation project is located along an existing walkway that provides connection to the lake front trail via Montrose Avenue.

8. To promote and provide for improved public transportation access to the Lakefront.

RESPONSE: The Clarendon Community Center renovation project is located along an existing bus route and will include a new CTA schedule display within the renovated lobby.

9. To ensure that no roadway of expressway standards, as hereinafter defined, shall be permitted in the Lakefront Parks.

RESPONSE: No roadway improvements are being proposed as part of this development.

10. To ensure that development of properties adjacent to the Lake or the Lakefront Parks is so defined as to implement the above-stated Purposes, provided; however, that with respect to property located within the Private-Use Zone, as established by Article V, VI and IX of this Ordinance, the permitted use, special use, lot area per dwelling unit and floor area ratio provisions found in the applicable chapters of Chicago Zoning Ordinance portion of the Municipal Code of Chicago, shall govern, except where such provisions are in substantial conflict with the Purposes of this Ordinance or the Fourteen Basic Policies of the Lakefront Plan of Chicago.

RESPONSE: This site is not located in the Private Use Zone.

11. To achieve the above-stated Purposes, the appropriate public agency should acquire such properties or rights as may be necessary and desirable.

RESPONSE: The Clarendon Community Center will remain in public ownership.

12. To define and limit the powers and duties of the administrative body and officers as provided herein.

RESPONSE: This purpose is not applicable, as it relates to powers and duties embodied in the Lakefront Protection Ordinance.

13. Nothing contained in the Lake Michigan and Chicago Lakefront Protection Ordinance shall be deemed to be a waiver, consent, license or permit to use any property or to locate, construct or maintain any building, structure or facility or to carry on any trade, industry, occupation or activity which may be otherwise required by law.

RESPONSE: The Applicant acknowledges and understands that nothing in the Lake Michigan and Chicago Lakefront Protection Ordinance is deemed to be a waiver or consent of all applicable permits or licenses to establish and operate the proposed project.



CLARENDON COMMUNITY CENTER

LAKEFRONT PROTECTION ORDINANCE

CHICAGO PARK DISTRICT

CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

2020
BOOTH HANSEN

Figure 1-1: Map of the Vicinity of the Site

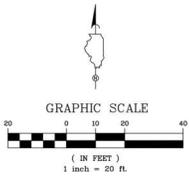


Applicant: Chicago Park District
Address: 4501 N. Clarendon Ave.
Chicago, Illinois
Date: April 6, 2021

0 45 90 180 270 360
Feet

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Cook County GIS Dept.

TOPOGRAPHIC SURVEY



LEGEND AND ABBREVIATIONS:

- PROPERTY LINE
- ▨ BUILDING
- ▤ CONCRETE
- ▥ ASPHALT
- ▧ GRAVEL
- DEPRESSED CURB
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- GUARDRAIL
- FOUND PK NAIL
- SET IRON ROD/PIPE
- SET MAG NAIL
- SET/FOUND CUT CROSS
- COMBINATION SEWER
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- GAS LINE
- COM- COMMUNICATION LINE
- T TELEPHONE LINE
- OHW OVERHEAD WIRE LINE
- UNDERGROUND ELECTRIC LINE
- × BC17.09 BACK OF CURB ELEVATION
- × FL17.68 FLOW LINE ELEVATION
- × EP17.23 EDGE OF PAVEMENT ELEVATION
- × FF17.38 FINISH FLOOR ELEVATION
- ⊙ MANHOLE
- ⊙ WATER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CURB INLET
- ⊙ CATCH BASIN
- ⊙ AREA DRAIN
- ⊙ UTILITY POLE
- ⊙ POWER POLE W/LIGHT
- ⊙ POWER POLE W/TRANSFORMER
- ⊙ LIGHT POLE
- ⊙ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ BUFFALO BOX
- ⊙ WATER VALVE
- ⊙ TREE-DECIDUOUS
- ⊙ TREE-EVERGREEN
- ⊙ BUSH
- ⊙ POST
- ⊙ SIGN
- ⊙ BOLLARD
- ⊙ SPRINKLER
- ⊙ CLEANOUT

STATE OF ILLINOIS
COUNTY OF COOK

This is to certify that I, Thomas E. Baumgartner, a Illinois Professional Land Surveyor, have surveyed the property described in the caption above, and that this Professional service conforms to the current Illinois Minimum Standards for a Topographic Survey.

Given under my hand and seal in Chicago, Illinois, this 18th day of January, 2021.

THOMAS E. BAUMGARTNER, ILLINOIS LAND SURVEYOR NO. 3142
LICENSE EXPIRATION 11-30-2022

Field work completed January 5, 2021.



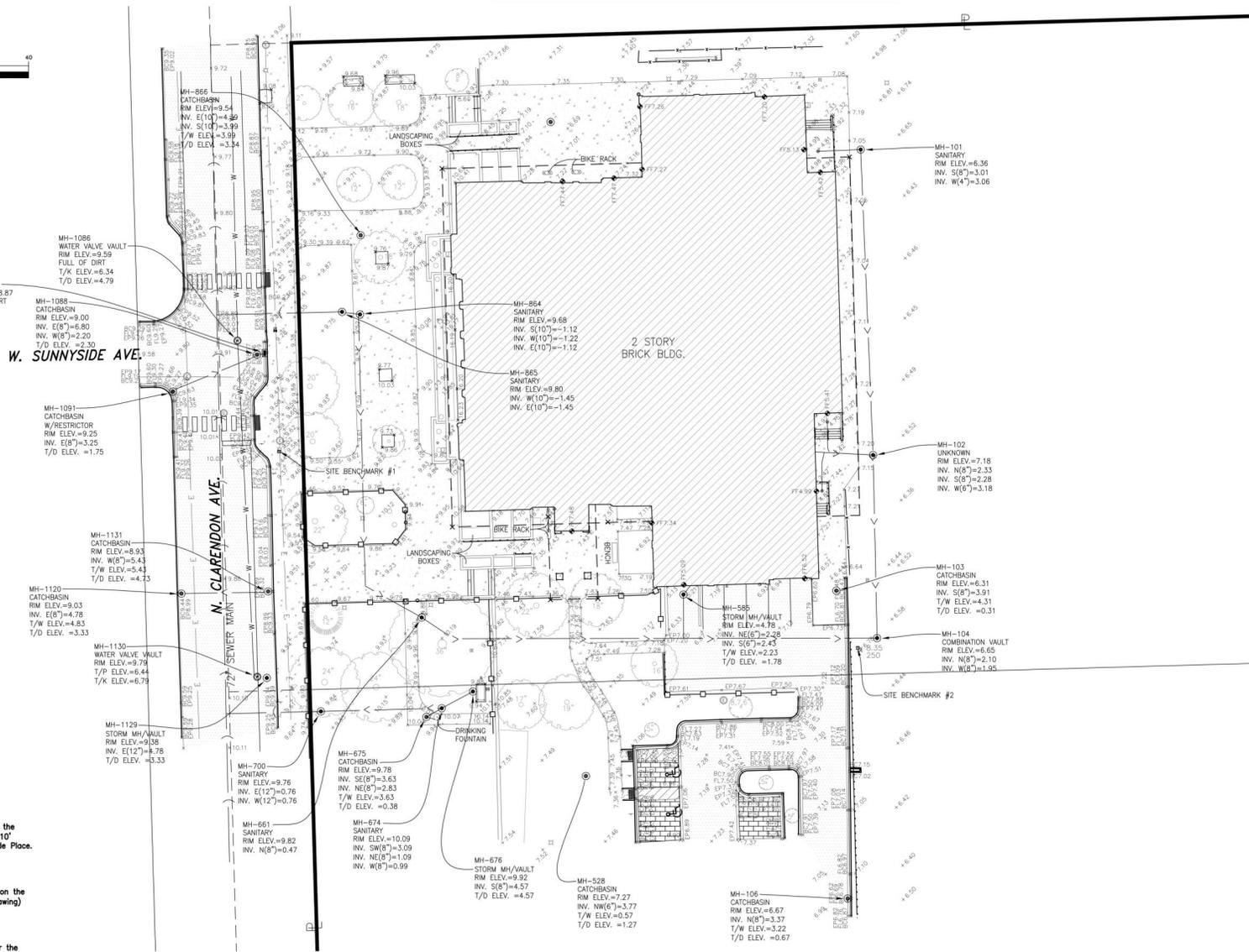
NOTE: TERRA ENGINEERING does not guarantee the accuracy of this survey unless it contains an original seal and signature.

City of Chicago Benchmark #192
Standard Benchmark 3.6' west of the west line of Clarendon Ave., and 10' north of the south line of Lakeside Place.
Elevation = 8.214

Site Benchmark #1
Southwest Bolt on lightpole base on the west side of the building (see drawing)
Elevation = 9.654

Site Benchmark #2
Square cut on lightpole base near the southeast corner of the building (see drawing)
Elevation = 8.329

I FURTHER STATE that the accompanying plot is a scaled representation of the physical situation which I found in the field and shows the location of visible evidence of utilities which I found at the time of my survey of these premises, and underground based on supplied plans. No attempt has been made as part of this survey to excavate, uncover or expose those facilities to field check the existence, size, depth, condition, capacity or exact location of those facilities. For more information concerning those utilities, please contact the appropriate public agencies or utility company.



#	Date	Description
1	1-18-21	Issued

TERRA ENGINEERING LTD.

225 W. Ohio Street
4th Floor
Chicago, IL 60654

TEL: (312) 467-0123
FAX: (312) 467-0220
www.terraengineering.com

Project Information
PROJECT #: 20-261
DRAWN BY: RZ
CHECKED BY: TB
APPROVED BY: TB

Clairendon Community Center

1 of 1

CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 2
MAP OF THE EXISTING SITE

2020
BOOTH HANSEN

Mar 09, 2021 - 10:58am
 VA_2020V (01-261) Clairendon REFS SURVEY (DRAWING) 20-261 - Clairendon (1070).dwg

EXIST. PLAYFIELDS

EDGE OF ROOF LINE

NEW ROOFTOP EQUIPMENT ON DUNNAGE; MECHANICAL SCREEN AS PROJECT ALTERNATE

EXIST. PARKING LOT

80' - 0"

21' - 0"

4501 N CLARENDON AVE
CHICAGO, IL 60640

36' - 0"

11' - 3"

BIKE RACKS

REPAVED/GRADED PLAZA

ACCESSIBLE RAMP AND STAIRS

NEW PAD-MOUNTED TRANSFORMER

BIKE RACKS

PLAZA PAVING & SEATING

ENTRY VESTIBULE

ACCESSIBLE RAMP AND STAIRS

(3) FLAGPOLES

BIKE RACKS

WOOD TERRACED SEATING

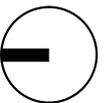
PROPERTY LINE

CONCRETE SEATWALL W/ SIGNAGE

NEW TREE

PLAZA PAVING & SEATING

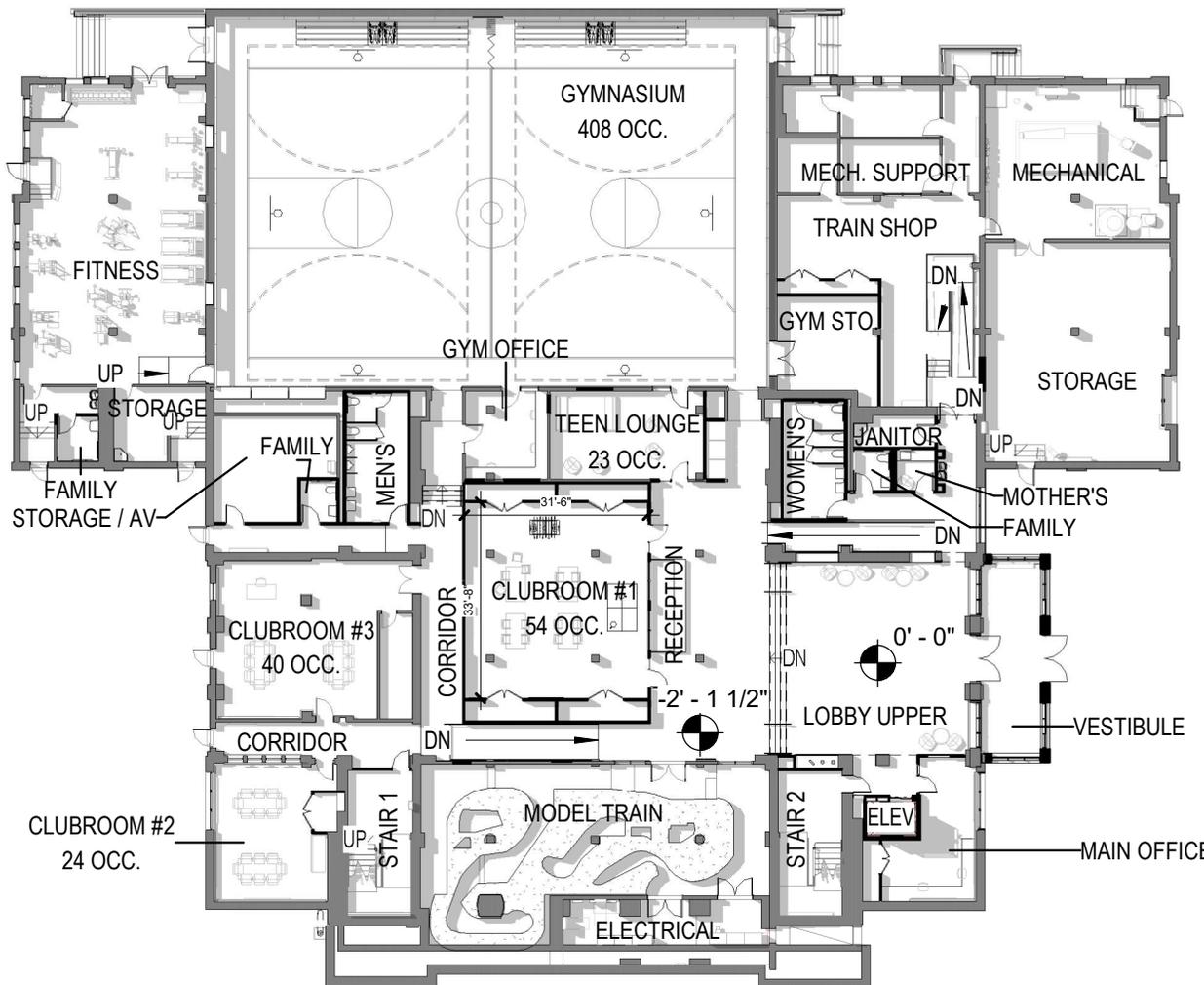
N CLARENDON AVENUE



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 3
PROPOSED SITE PLAN

2020
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LEGEND

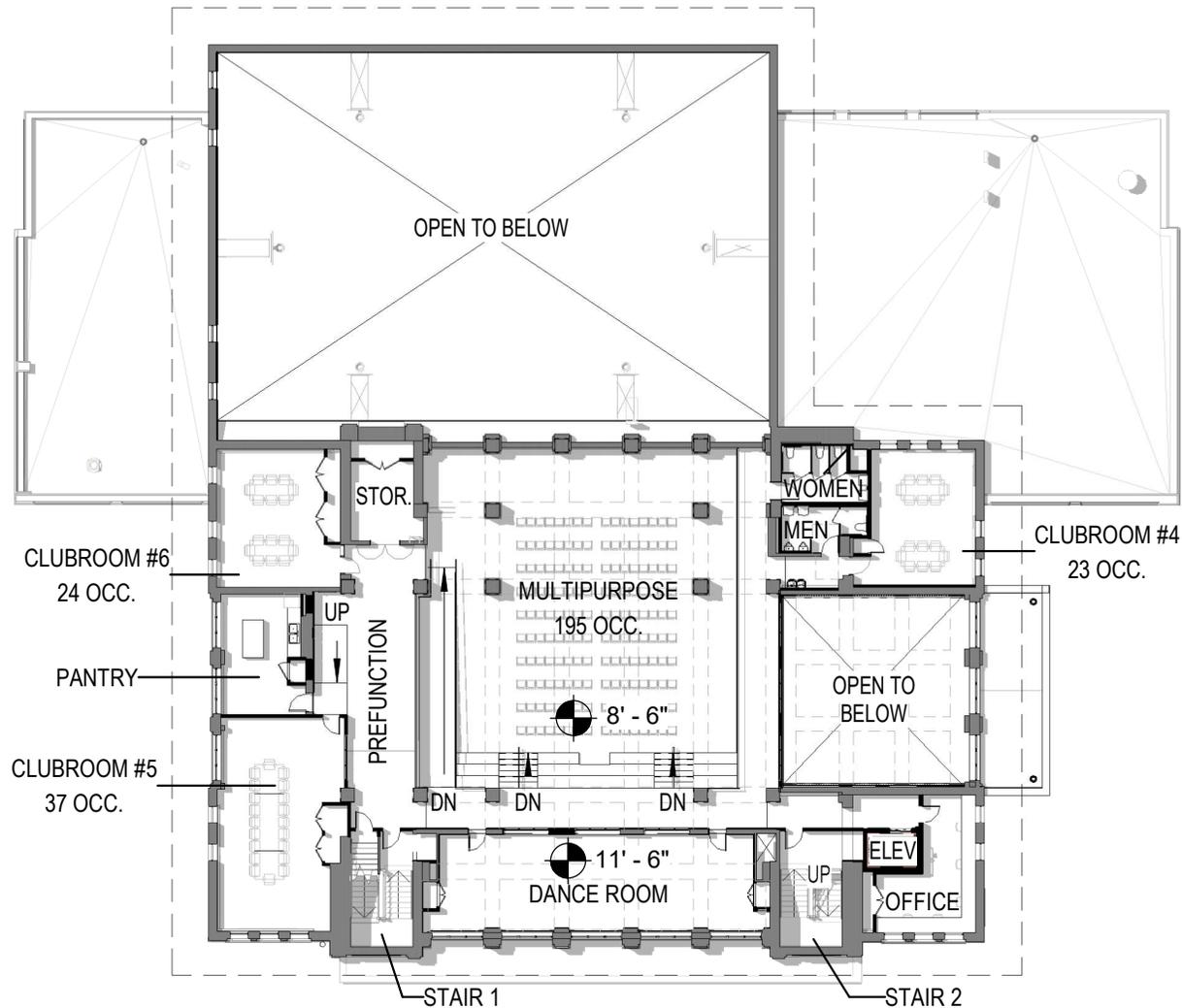
-  NEW PARTITION
-  EXISTING TO REMAIN WALL / PARTITION



CLARENDON COMMUNITY CENTER
 4501 N CLARENDON AVE
 CHICAGO, IL 60640

FIGURE 4-01
 PROPOSED GROUND FLOOR PLAN

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LEGEND

- NEW PARTITION
- EXISTING TO REMAIN WALL / PARTITION



CLARENDON COMMUNITY CENTER
 4501 N CLARENDON AVE
 CHICAGO, IL 60640

FIGURE 4-02
 PROPOSED FIRST FLOOR PLAN

2020
 BOOTH HANSEN

ADD. ALT: PROVIDE PERFORATED
CORRUGATED METAL SCREEN (DARK
BRONZE FINISH) AROUND DUNNAGE

MECH. UNITS ON DUNNAGE,
REFER TO MECH. AND STRUCT.

ACM (ALUM. COMPOSITE
MATERIAL) FASCIA, DARK
BRONZE FINISH

T/ SCREEN

39' - 2"

ROOF

30' - 0"

9' - 2"

18' - 6"

FIRST FLOOR

11' - 6"

GROUND FLOOR

0' - 0"

PNT. ALUM. STOREFRONT
ASSEMBLY

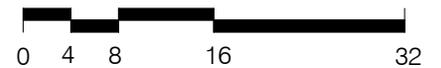
CAST STONE ENTRY VESTIBULE

WINDOW TO
MATCH EXIST.

EXISTING BRICK

NEW COILING
GARAGE DOOR
AT EXISTING
LOCATION

EXISTING BRICK



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 5-01
SOUTH ELEVATION

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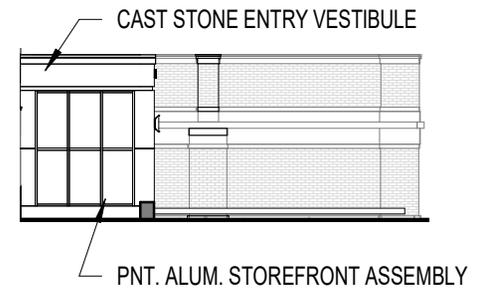
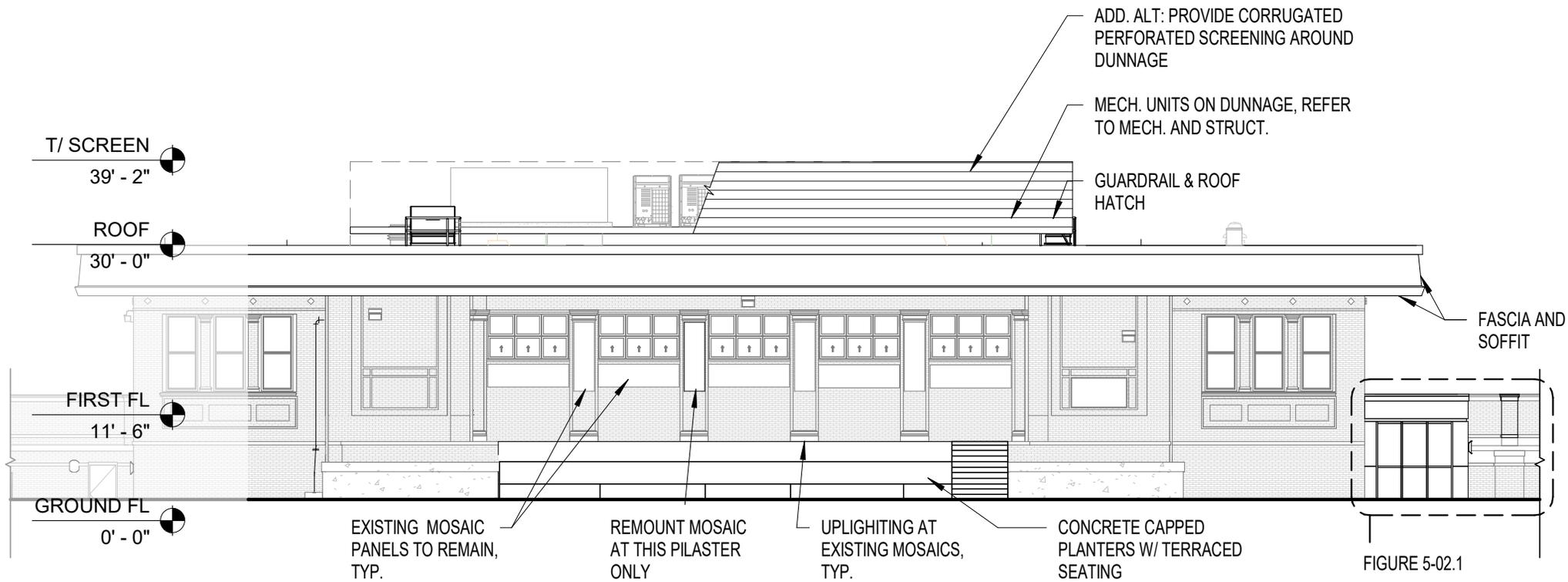
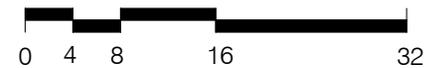


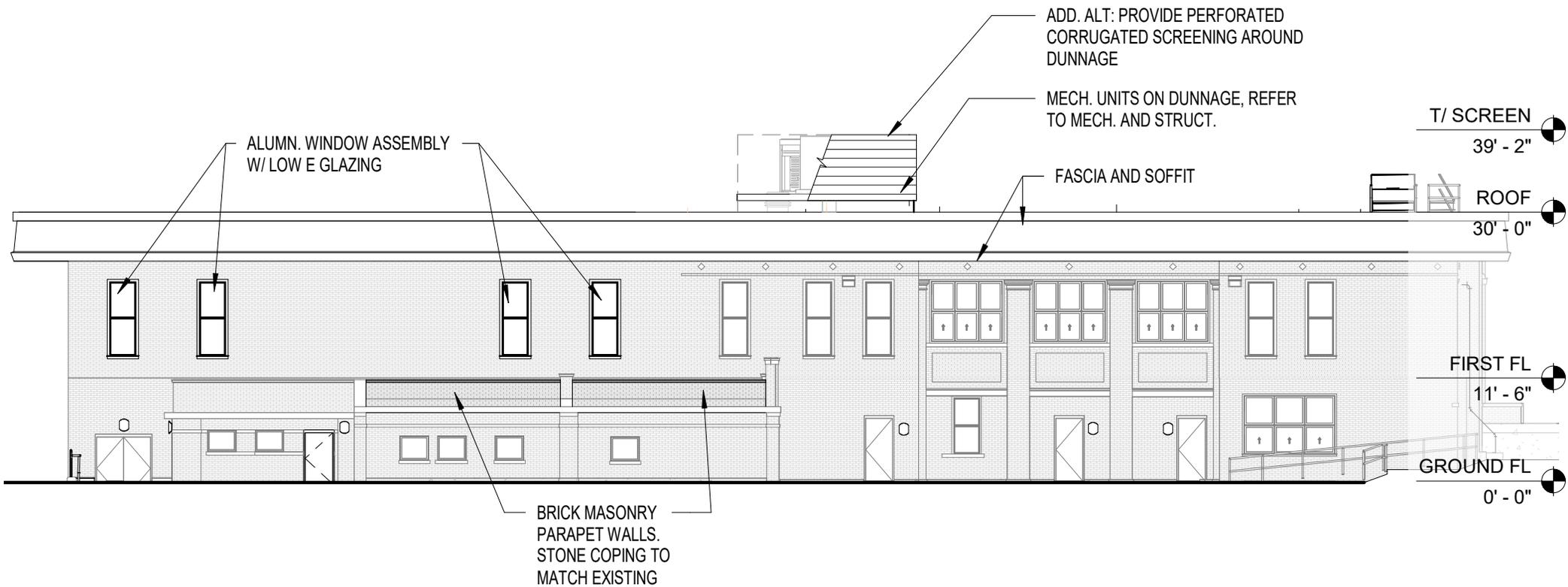
FIGURE 5-02.1 PARTIAL WEST ELEVATION - AT ENTRY VESTIBULE



CLARENDON COMMUNITY CENTER
 4501 N CLARENDON AVE
 CHICAGO, IL 60640

FIGURE 5-02
 WEST ELEVATION

2020
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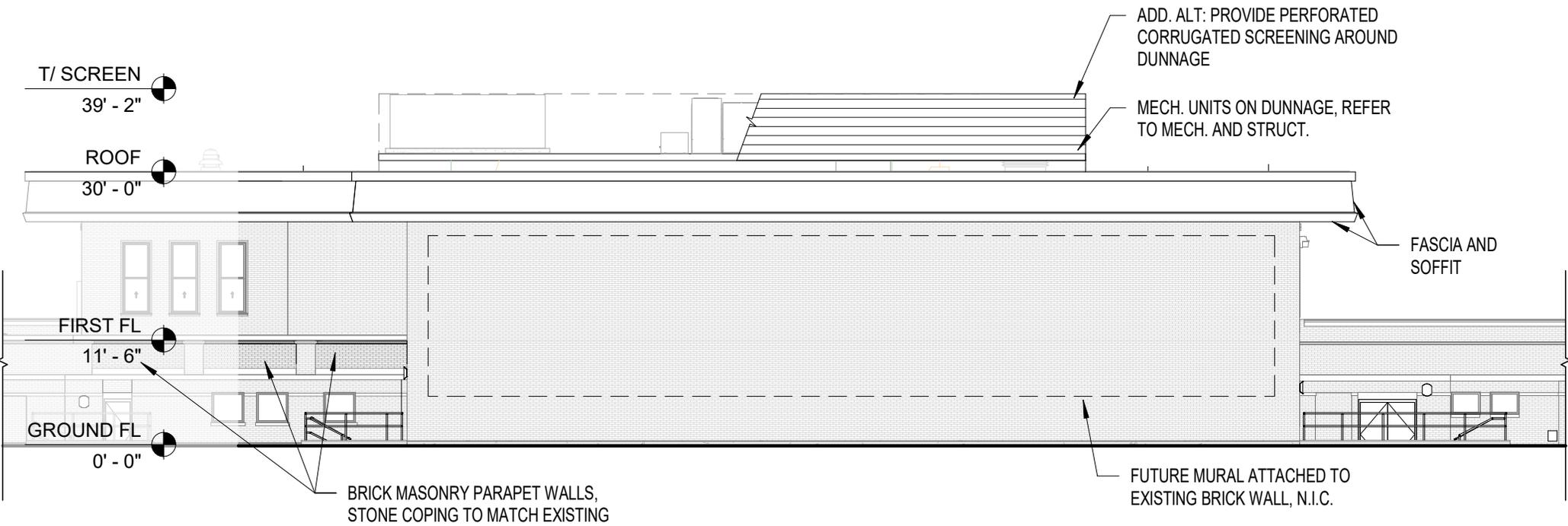


CLARENDON COMMUNITY CENTER
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 CHICAGO, IL 60640

FIGURE 5-03
 NORTH ELEVATION

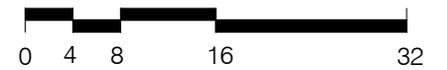


2020
 BOOTH HANSEN

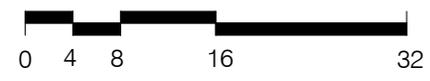
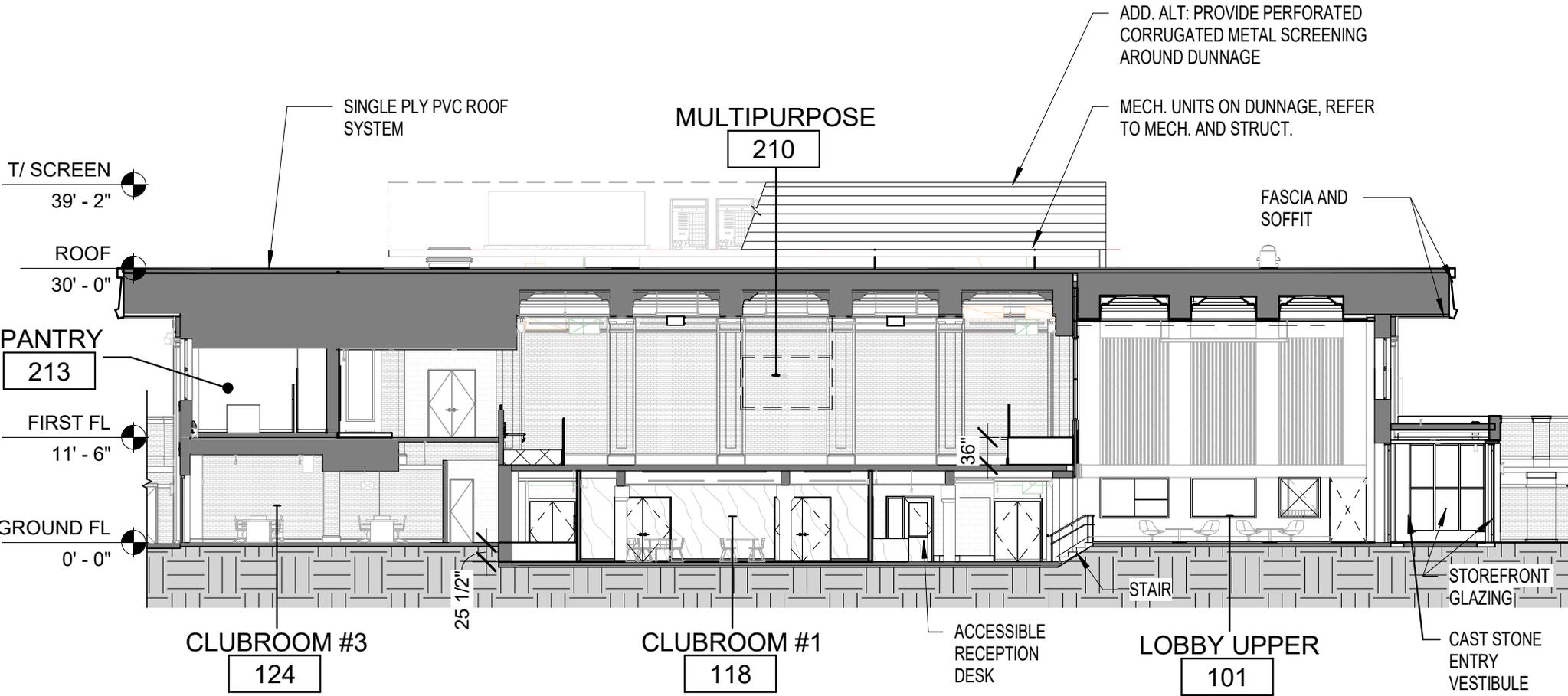


CLARENDON COMMUNITY CENTER
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FIGURE 5-04
 EAST ELEVATION



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CLARENDON COMMUNITY CENTER
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 CHICAGO, IL 60640

FIGURE 5-05
 BUILDING SECTION N/S

2020
 BOOTH HANSEN

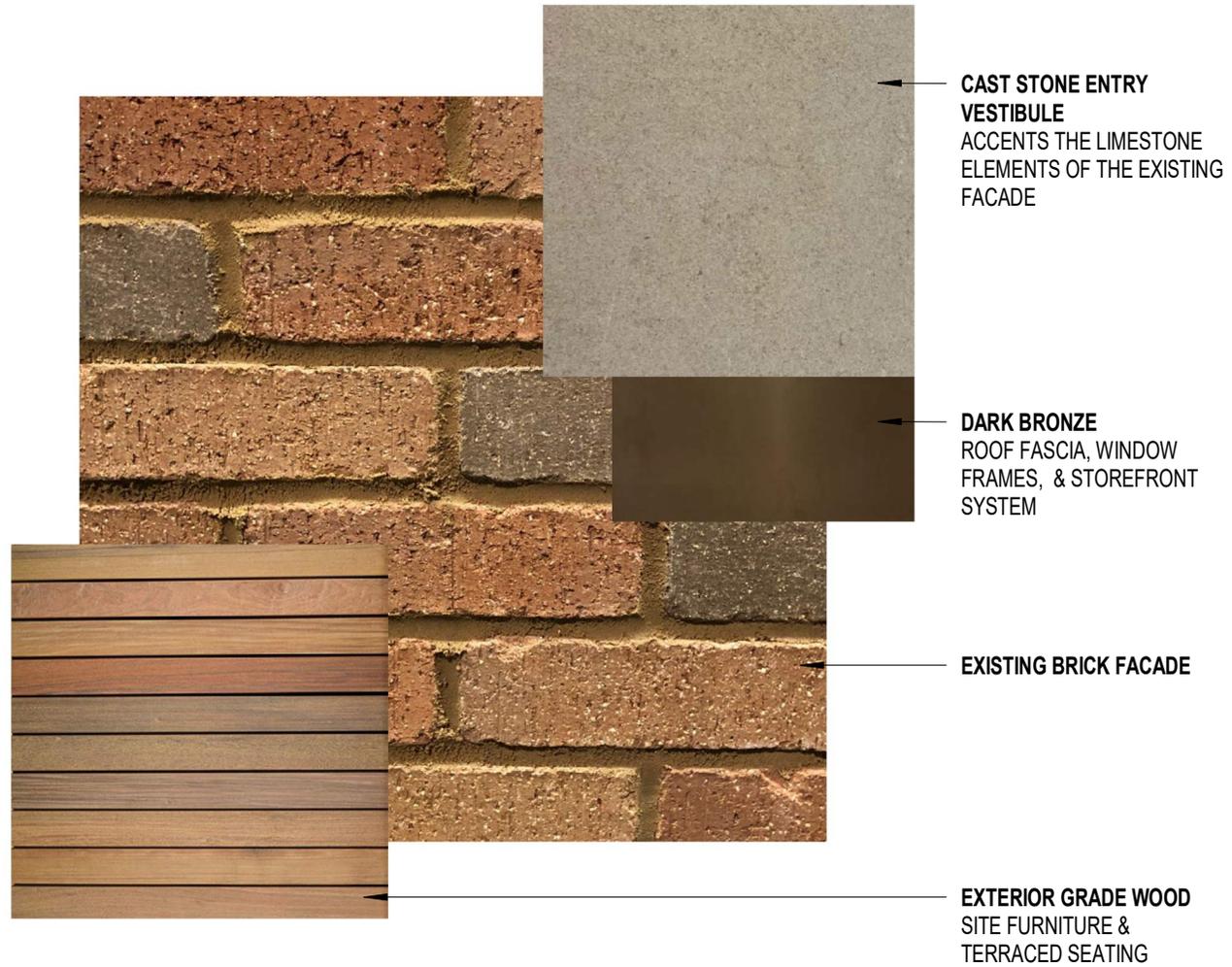


FIGURE 6-01
 EXTERIOR MATERIALITY



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-02
BIRD'S EYE VIEW

2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-03
VIEW FROM CLARENDON AVE

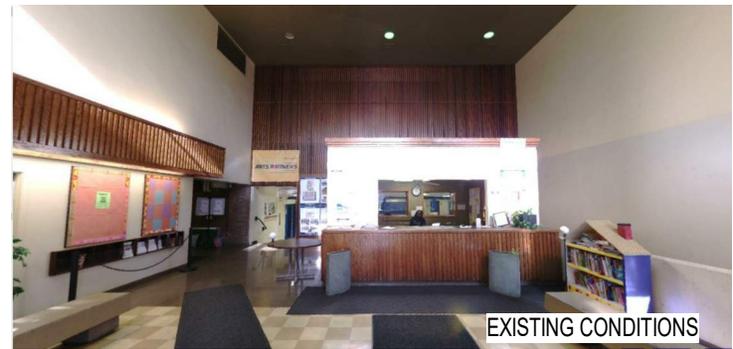
2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-04
MAIN ENTRY - VIEW NORTH

2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-05
LOBBY - VIEW NORTH

2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-06
LOBBY - VIEW SOUTH

2020
BOOTH HANSEN



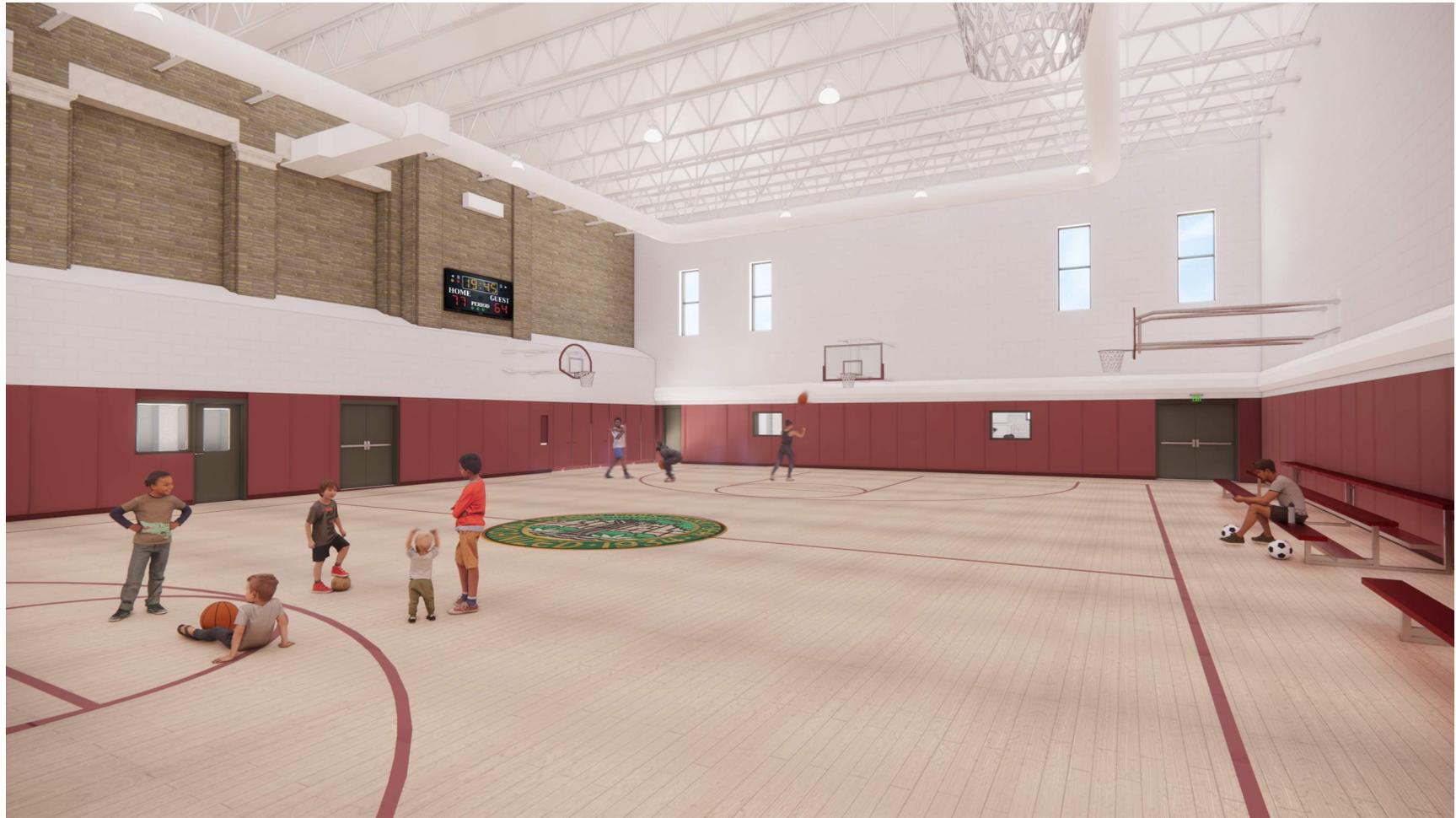
EXISTING CONDITIONS (OPEN GAME ROOM)



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-07
CLUBROOM #1

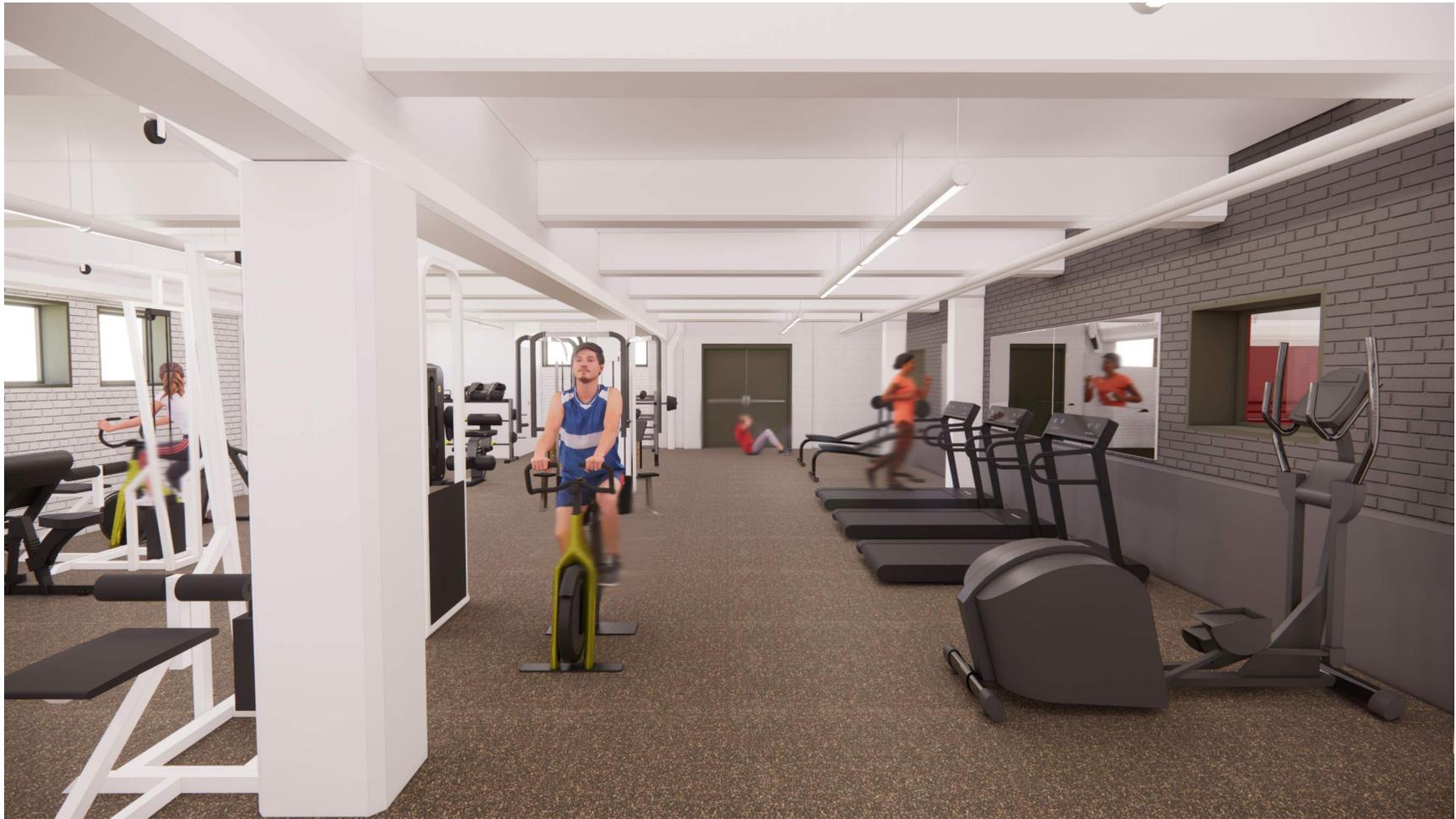
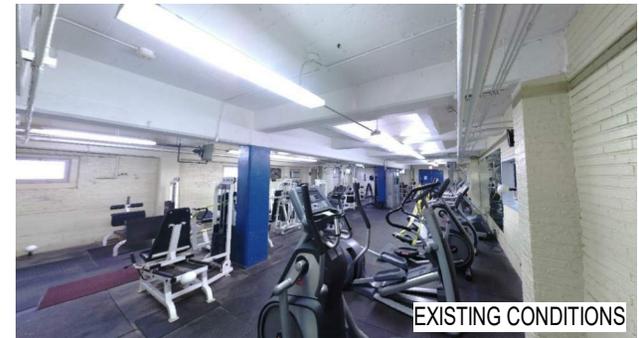
2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-08
GYMNASIUM

2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-09
FITNESS ROOM

2020
BOOTH HANSEN



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-10
MULTIPURPOSE ROOM

2020
BOOTH HANSEN



EXISTING CONDITIONS



CLARENDON COMMUNITY CENTER
4501 N CLARENDON AVE
CHICAGO, IL 60640

FIGURE 6-11
DANCE ROOM

2020
BOOTH HANSEN

VI Project Narrative

Clarendon Park Community Center is an 8-acre park located in the Uptown Community Area. In 1916, the city opened the Clarendon Municipal Beach, featuring an impressive brick building with two stately towers, separate open-air locker areas for men and women, and two smaller buildings housing a laundry and a children's playroom. Accommodating more than 9,000 swimmers and a promenade for thousands of spectators, the facility provided bathing suits, towels, and lockers for the charge of ten cents per adult. The beach remained popular until the late 1930s, when the Chicago Park District expanded Lincoln Park north to Foster Avenue, thereby eliminating Clarendon's lake frontage. At that time, the city converted the facility into a community center, adding gymnasiums, club rooms, a playground, and an athletic field. A major renovation project in 1972 resulted in the removal of the building's most distinguishing features such as its tile roof and towers.

Today, Clarendon Community Center needs renovation. The goal of this project is to create a more functional, inviting and attractive fieldhouse for park users. The renovation will provide a new roof, address all moisture penetration in and around the building, repairing the envelope issues, upgrading the MEP system, providing an accessible entrance, interior ramps, and restroom upgrades to ensure the building is ADA compliant, and will improve interior finishes of key rooms including the gymnasium, multi-purpose room, and dance room as the budget allows.

In April 2018, the Park District hired Williams Architects to lead a feasibility study to analyze the existing fieldhouse and develop ideas for a new fieldhouse. Three concepts were prepared for community review (new building, small-scale remodel, large-scale renovation). The community chose small-scale renovation, and the architect developed a concept and costs based on this direction.

In October 2020, the Park District Booth Hansen Architects to carry the design through construction. The design team has prepared the drawings included as part of this LPO application, and has continued to engage the community throughout the design process. The result is a community-driven design that will give new life to a historic building, making it ready to serve the neighborhood for many years to come.



Administration Office
 541 North Fairbanks
 Chicago, Illinois 60611
 (312) 742-7529
 (312) 747-2001 (TTY)
 www.chicagoparkdistrict.com

Board of Commissioners

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Tim King
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 M. Laird Koldyke
 Jose M. Muñoz
 Ashley Hemphill Netzky

Chicago Park District

Michael P. Kelly

City of Chicago
 Lori Lightfoot
 Mayor

May 11, 2021

Ms. Teresa Cordova
 Chairman, Chicago Plan Commission
 City Hall, Room 905
 121 North LaSalle Street
 Chicago, IL 60602

Applicant: Chicago Park District
 Subject: Clarendon Community Center

Dear Chairman Cordova:

The undersigned, Timothy M. King, being first duly sworn on oath, deposes and states the following:

The undersigned certifies that he has complied with the requirements of Section 16-4-100 of the Lake Michigan and Chicago Lakefront Protection Ordinance, by sending written notice to such property owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property 500 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways. Said "written notice" was sent by First Class U.S. Mail, no more than thirty (30) days before filing the application.

The undersigned certifies that the notice contained the address of the property to be considered; a statement of the intended use of the property; the name and address of the applicant; and a statement that the applicant intends to file the application for a hearing pursuant to the zoning ordinance on approximately May 12, 2021.

The undersigned certifies that the applicant has made a *bona fide* effort to determine the addresses of the parties to be notified under Section 16-4-100 of the Lake Michigan and Chicago Lakefront Protection Ordinance, and that the accompanying list of names and addresses of surrounding property owners are within the required radius of the Lincoln Park proposed project.

By: 
 TIMOTHY KING (May 12, 2021 08:52 CDT)

Timothy M. King
 General Counsel

Subscribed and sworn to me this 12th
 day of May, 2021.


 ADRIENNE THOMAS (May 12, 2021 09:45 CDT)

Adrienne Thomas, Notary Public





Administration Office

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Jose M. Muñoz
Ashley Hemphill Netzky

**General Superintendent
& CEO**

Michael P. Kelly

City of Chicago
Lori Lightfoot
Mayor

May 11, 2021

Dear Property Owner,

In accordance with the notice requirements of the Lake Michigan and Chicago Lakefront Protection Ordinance (the "Lakefront Protection Ordinance"), please be informed that on or about May 12, 2021 an application was filed for review under the provisions of the Lakefront Protection Ordinance on behalf of the Chicago Park District, as Applicant, for the property commonly known as Clarendon Community Center, located at 4501 North Clarendon Avenue, Chicago, Illinois, 60640. The approximate project area is bounded by Wilson Ave to the north, Montrose Avenue to the south, Marine Drive to the east, and Clarendon Avenue to the west.

The Chicago Park District proposes to renovate the community center to improve accessibility into and within the building, to repair the roof, to address water penetration through the building envelope, and to make general improvements to other building systems and finishes. The renovation will include limited site improvements, including site drainage improvements, limited landscape improvements, and upgrades to site furnishings.

The contact information for the Chicago Park District as Applicant is as follows:

Chicago Park District
541 N. Fairbanks Ct.
Chicago, IL 60611

Please note that your property is not included in the application to be filed by the Chicago Park District. The Applicant is required by law to send this notice to you because you own property in the vicinity of the subject site.

Any questions regarding this project may be directed to Sarah White, Lakefront Planning Coordinator, at sarah.white@chicagoparkdistrict.com or 312-742-4693.

Sincerely,

A digital signature of Timothy King, showing a stylized signature and a timestamp: 'TIMOTHY KING (May 12, 2021 08:52 CDT)'.

TIMOTHY KING (May 12, 2021 08:52 CDT)

Timothy King
General Counsel

14161030010000
PROPERTY OWNER
4515 N CALARENDON AVE
CHICAGO, IL 60640

14161030060000
MONTROSE AND CLARENDON LLC
4104 N HARLEM AVE
NORRIDGE, IL 60706

14-17-221-011/012/025/026/027/028/029-0000
LAKE VIEW TOWERS RESIDENTS ASSOCIATION INC
4550 N CLARENDON AVE
CHICAGO, IL 60640

14172210230000
GALLOIS MAURICE J,GALLOIS ROSEANN
824 W WINDSOR AVE
CHICAGO, IL 60640

14172210240000
YAOWAPA KRUEYA & VIVEK BENIWAL
822 W WINDSOR AVE
CHICAGO, IL 60640

14172210330000
WINDSOR PARTNERS LLC
826 W WINDSOR AVE
CHICAGO, IL 60640

14172230040000
ESCOBAR GONZALO D
837 W WINDSOR AVE
CHICAGO, IL 60640

14-17-223-005/006-0000
THOMAS R SHEA
831 W WINDSOR AVE
CHICAGO, IL 60640

14172230070000
ZHANG WEI
825 W WINDSOR AVE
CHICAGO, IL 60640

14-17-223-010/011-0000
4520 CLARENDON LLC
817 W WINDSOR AVE
CHICAGO, IL 60640

14172230160000
PERIC MANAGEMENT
828 W SUNNYSIDE AVE
CHICAGO, IL 60640

14-17-223-018/019/024-0000
4500 N CLARENDON CONDO ASSOCIATION
4500 N CLARENDON PARK
CHICAGO, IL 60640

14172230210000
THE LEGACY AT CLARENDON PARK
4520 N CLARENDON PARK
CHICAGO, IL 60640

14172230290000
824-826 CONDO/RENTAL ASSOCIATION
826 W SUNNYSIDE AVE
CHICAGO, IL 60640

14-17-227-004/005/014-0000
WOLCOTT REAL PROPERTY
2038 E 46TH STREET
CHICAGO, IL 60653

14172270070000
VESELKO PEHAR
6829 N MINNETONKA
CHICAGO, IL 60646

14172270060000
SUNNYSIDE 6 LLC
4554 N MAPLEWOOD AVE
CHICAGO, IL 60625

14172270150000
NORMAN S LAWSON AGENT
1448 W GLENLAKE ST
CHICAGO, IL 60660

14-17-227-017/018/019/020/021-0000
MISSIONARY SISTERS OF THE SACRED HEART
434 W DEMING PL
CHICAGO, IL 60614

14172270241001
CARLISLE KIRKPATRICK
822 W AGATITE AVE #1E
CHICAGO, IL 60640

14172270250000

828 W AGATITE AVE CONDO/RENTAL ASSOCIATION

828 W AGATITE AVE

CHICAGO, IL 60640

14-17-229-008/017/018/019-0000

EIGHT ELEVEN UPTOWN MAIN OFFICES

811 W AGATITE AVE

CHICAGO, IL 60640