



# **CHICAGO PLAN COMMISSION**

## **Department of Planning and Development**

**Revision to PD 1335, dated 6/22/2016**

**1528 N. Wells (27<sup>th</sup> Ward)**

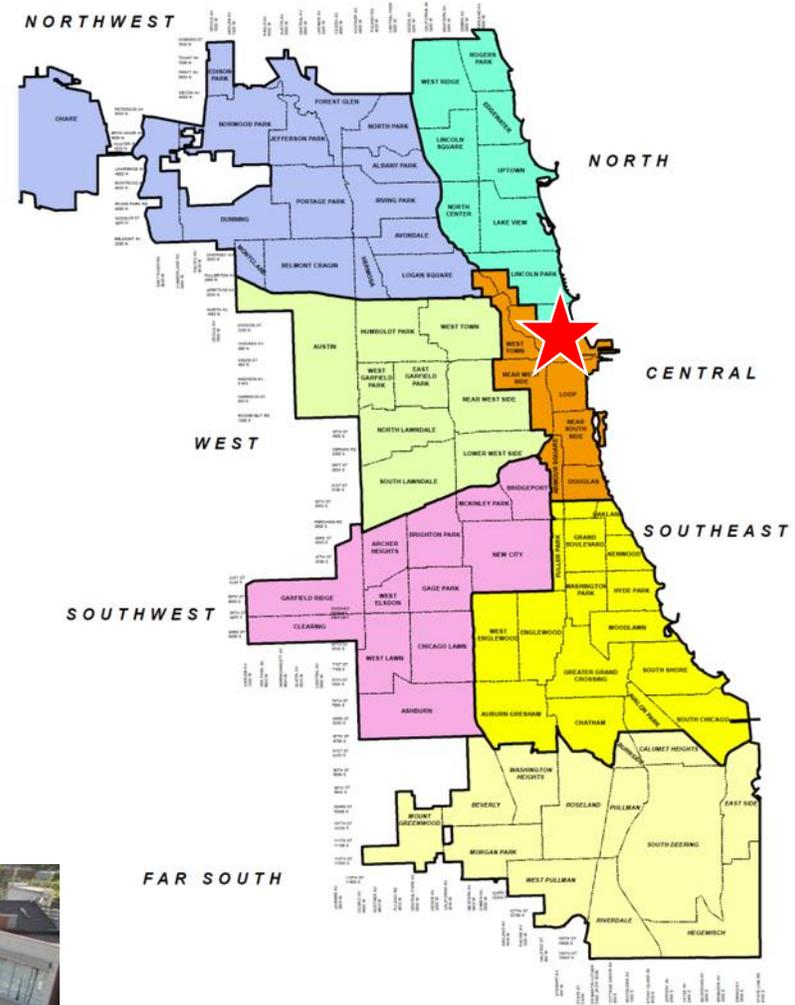
**Wellstel, LLC**

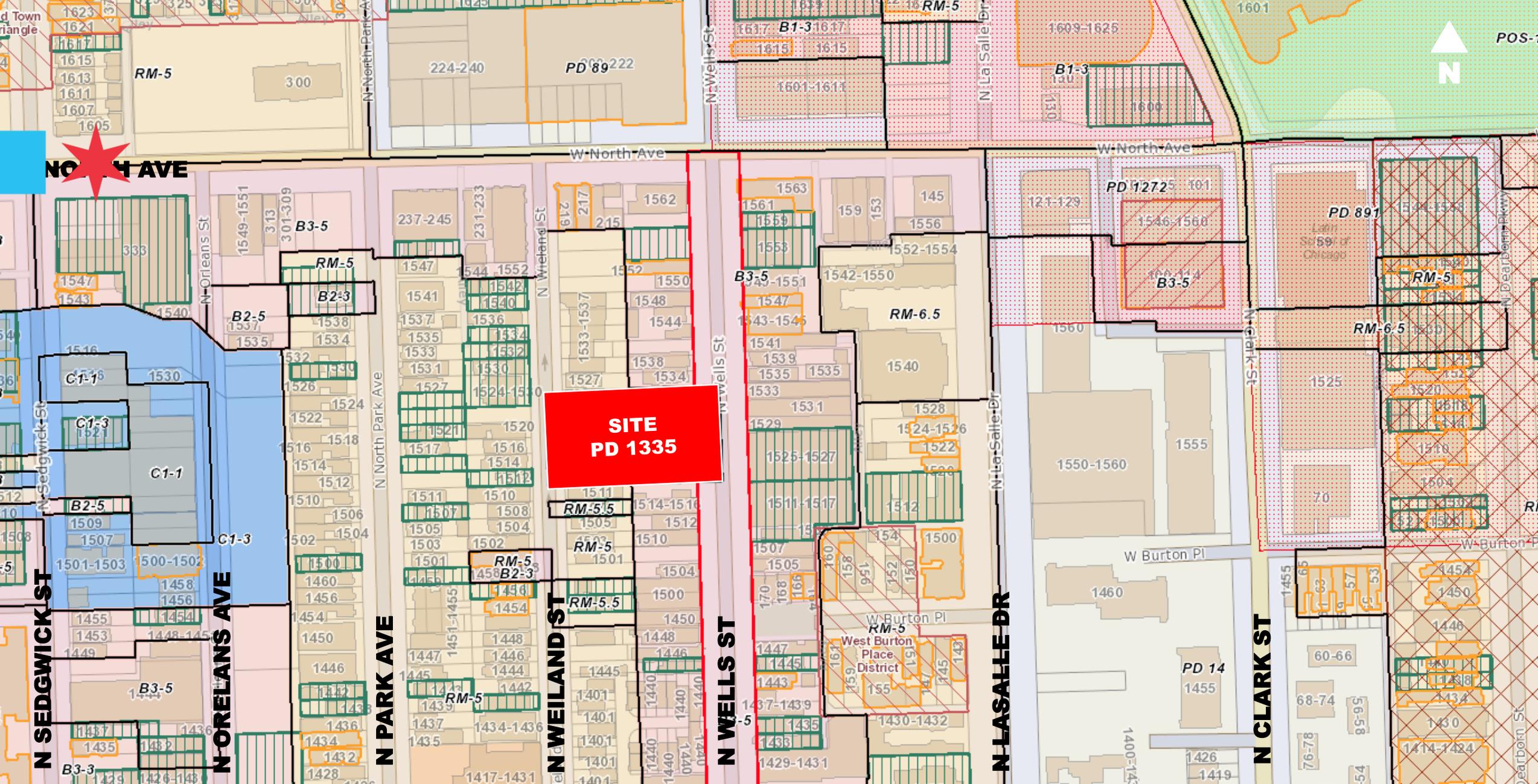
8/20/2020

# ★ Community Area Snap Shot

## COMMUNITY AREA INFORMATION:

- Demographic Data (Near North Side)
  - 41.4% of residents are between the ages of 20-34
  - 92% of residents are a one or two-person household
  - 47.9% of housing is renter occupied
  - 32.8% of residents have a household income over \$150,000
- Located on Wells Street in the heart of Old Town





**SITE  
PD 1335**

**LAND USE CONTEXT PLAN**



**LINCOLN PARK**

**CHICAGO HISTORY MUSEUM**

**SECOND CITY**

**SEDGWICK CTA  
BROWN  
PURPLE**

**SITE PD  
1335**

**W NORTH AVE**

**N SEDGWICK ST**

**N ORELANS AVE**

**N PARK AVE**

**N WEILAND ST**

**N WELLS ST**

**N LASALLE DR**

**N CLARK ST**

37

72

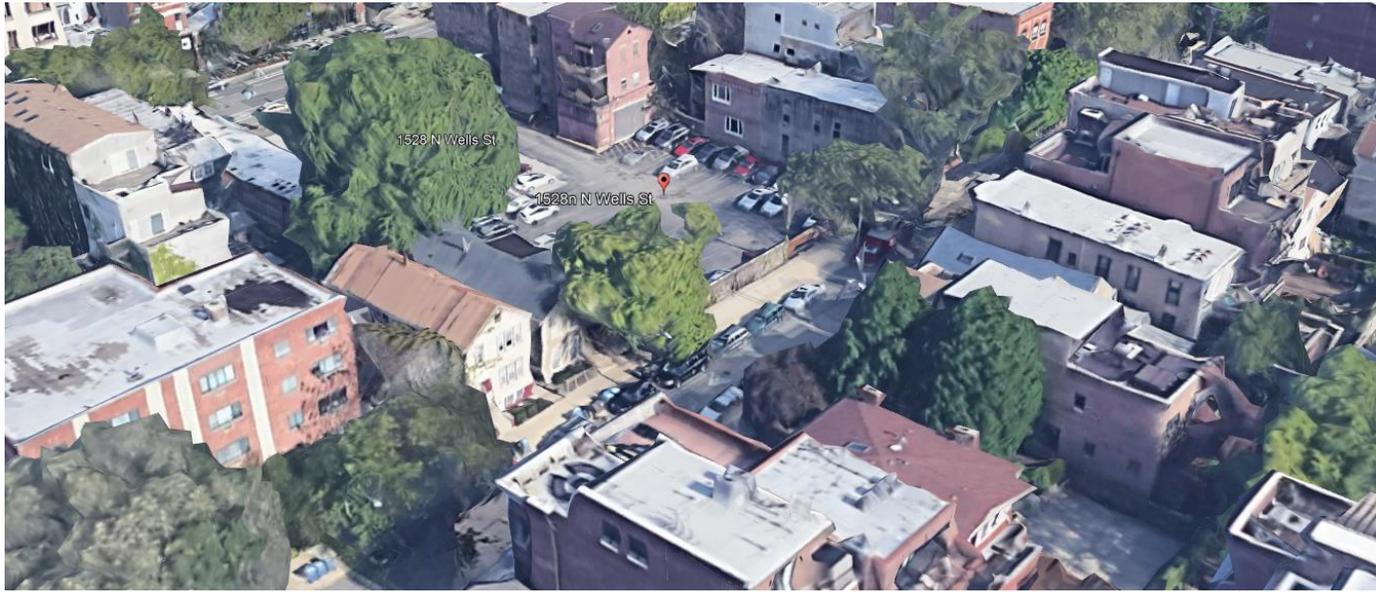
156

22

36



**SITE CONTEXT PLAN**



**SITE CONTEXT**



**SITE CONTEXT**



**6/22/16**  
**Original PD**  
**1335 Approval**

**1/28/20**  
**Community Meeting**

A meeting was hosted by Old Town Merchants and Residents Assoc. (OTMRA). Plans for a 12 suite annex to the hotel were presented. The proposed plans were strongly opposed by most of those present.

**February 2020**  
**Small Group Meetings**

Three meetings were held on 2/13, 2/14, and 2/18; Discussion of potential publicly-accessible park or fewer single-family homes with an increase in hotel room count.

**3/10/20**  
**Meeting with newly-formed**  
**Weiland Street block club**

Shared alternative proposals for publicly-accessible park or fewer single family homes with an increase in hotel room count.

**6/3/20**  
**ZOOM community meeting**  
**co-hosted by Old Town**  
**Merchants and Residents**  
**Association**

Current proposal presented and discussed.



**STREET VIEW FROM SOUTH EAST DIRECTION**



**AERIAL VIEW FROM SOUTH EAST DIRECTION**

**RBPD #1335, As Amended  
Bulk Regulations and Data Table**

Zoning Bulk Data Table	Sub-Area A	Sub-Area B	Sub-Area C	Total
Net Site Area (SF):	21,934	6,119	2,530	30,583
Net Site Area (Acre):	0.50	0.14	0.06	0.70
Area in Adjoining ROW (SF):	4,992	3,739	990	9,721
Gross Site Area (SF):	26,926	9,858	3,520	40,304
Gross Site Area (Acre):	0.62	0.23	0.08	0.93
Maximum Permitted FAR Ratio:	6.22	1.89	2.0	5.0
Maximum Number of Hotel Keys:	203	0	0	203
Maximum Number of Dwelling Units:	0	3	1	4
Maximum Permitted FAR:				<b>152,915</b>
Existing used FAR (SF):	0	0	4,998	4,998
Proposed New Construction FAR (SF):	136,365	11,552	0	147,917
Maximum Number of Off-Street Parking Spaces:	47	6	0	53
Minimum Number of Off-Street Loading Berths:	1	0	0	1
Maximum Permitted Building Height:	151'-4"	47'-0"	50'-0"	
Minimum Periphery Setbacks:	Per Approved Site Plan	Per Approved Site Plan	Existing	Per Approved Site Plan
Minimum Number of Bicycle Spaces:	50	0	Existing	50

**Bulk Regulations and Data Table**

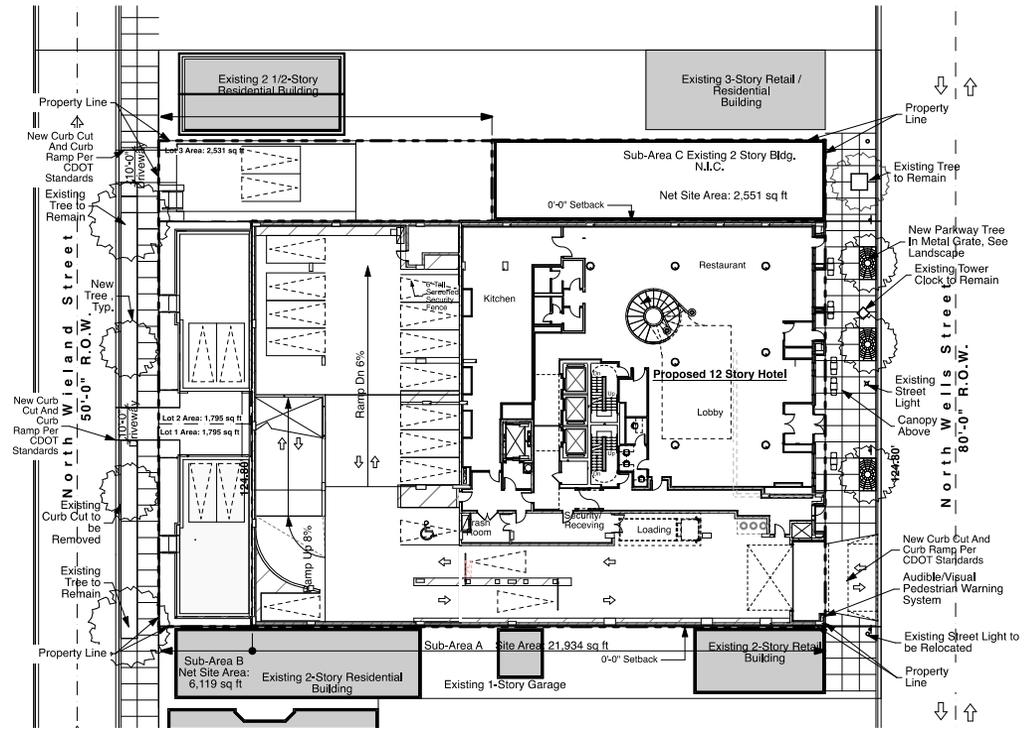
Zoning Bulk Data Table	Sub-Area A	Sub-Area B	Sub-Area C	Sub-Area D (Below Grade)	Total
Net Site Area (SF):	14,040	11,481	2,551	NA	28,072
Net Site Area (Acre):	0.32	0.26	0.06	NA	0.64
Area in Adjoining ROW (SF):	4,992	3,120	998	NA	9,110
Gross Site Area (SF):	19,032	14,601	3,549	NA	37,182
Gross Site Area (Acre):	0.44	0.34	0.08	NA	0.85
Maximum Permitted FAR Ratio:	8.44	1.45	2.0	NA	5.0
Maximum Number of Hotel Keys:	190	0	0	NA	190
Maximum Number of Dwelling Units:	0	4	1	NA	5
Maximum Permitted FAR:					<b>140,360</b>
Existing used FAR (SF):	0	0	5,103	NA	5,103
Proposed New Construction FAR (SF):	118,545	16,700	0		135,245
Maximum Number of Off-Street Parking Spaces:	0	0	0	53	53
Minimum Number of Off-Street Loading Berths:	1	0	0	NA	1
Maximum Permitted Building Height:	151'-4"	47'-0"	Existing	NA	
Maximum Site Coverage:	Per Approved Site Plan	Per Approved Site Plan	Existing	Per Approved Site Plan	Per Approved Site Plan
Minimum Periphery Setbacks:	Per Approved Site Plan	Per Approved Site Plan	Existing	Per Approved Site Plan	Per Approved Site Plan
Minimum Number of Bicycle Spaces:	50	0	Existing	0	50

Applicant: Address: Introduction Date: Plan Commission Date:	<b>Wellstel, LLC</b> 1520-1532 N. Wells Street / 1513-1523 N. Wieland Street Chicago, IL 60610 March 16th, 2016 June, 16th, 2016	<b>PAPPAGEORGE HAYMES</b>	<b>pappageorgehaymes partners</b> 640 N. LaSalle, Suite 400 Chicago, IL 60654 O 312.337.3344 F 204.8988 www.pappageorgehaymes.com	<b>Bulk Regulations and Data Table</b>
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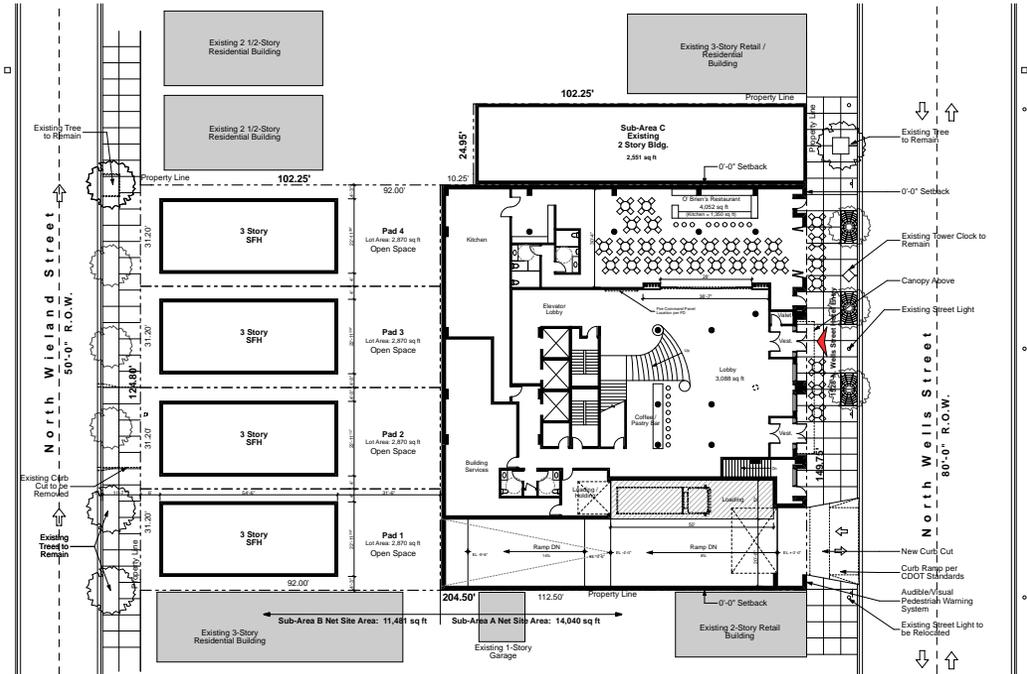
**RBPD #1335, As Amended  
1b Bulk Regulations & Data Table - Proposed**

Community Meeting took place via Zoom web conference on 6/3/2020

**1a Bulk Regulations & Data Table-Approved PD # 1335  
Approved Date: 6/22/2016**



**1b** Site Plan - Proposed  
SCALE: 1" = 40'



**1a** Site Plan - Approved PD #1335  
SCALE: 1" = 40'  
Approved Date: 6/22/2016

**SITE + GROUND FLOOR PLAN COMPARISON**



Wells Street sidewalk looking south away from the site



Wells Street looking at the site.



Wells Street sidewalk looking north away from the site

## WELLS STREET PROPOSED & CONTEXT



Wieland sidewalk looking south towards the site



Wieland Street looking at the site.



Wieland Street looking north towards the site.

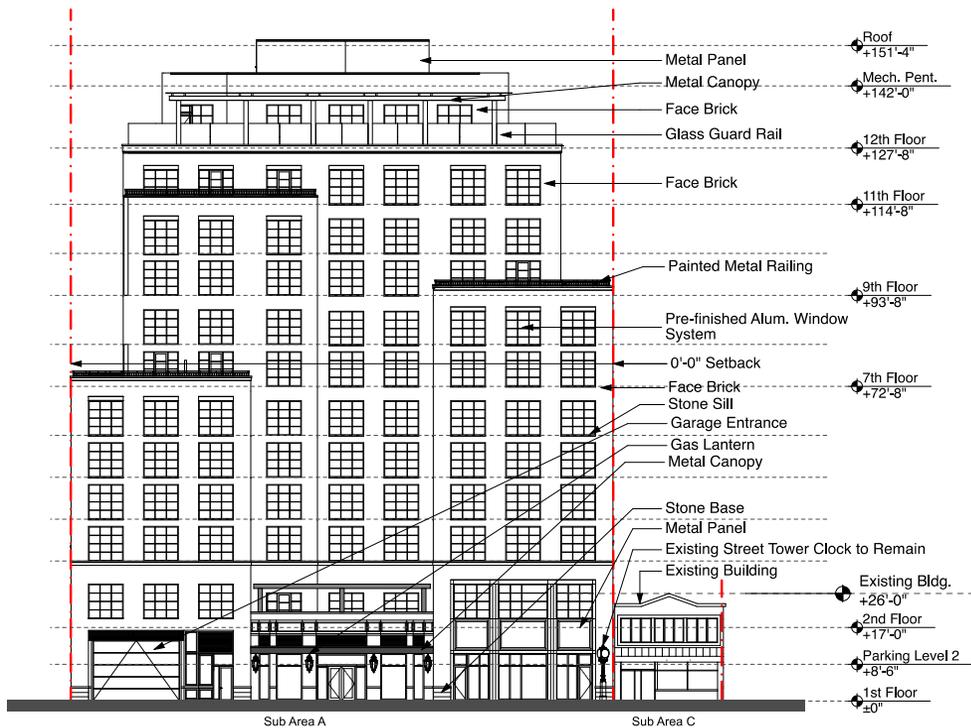
## WIELAND STREET PROPOSED & CONTEXT



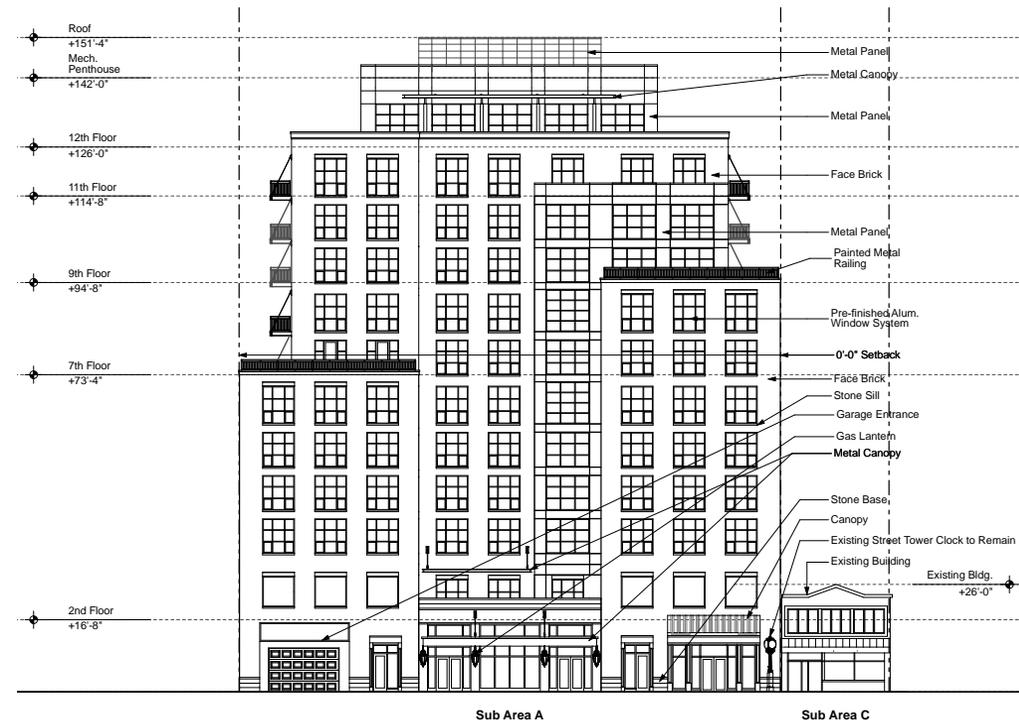
**AXONOMETRIC – WIELAND STREET**



**AXONOMETRIC – WIELAND STREET**



1b East Elevation - Proposed  
SCALE: 1" = 30"

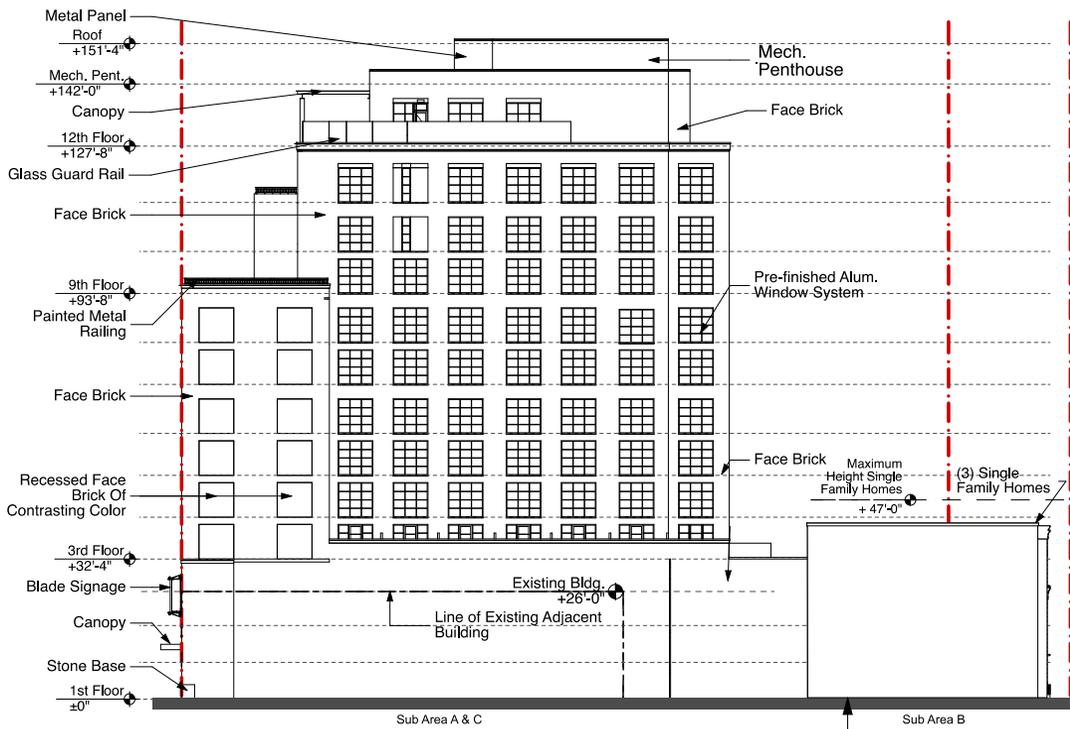


1a East Elevation - Approved PD # 1335  
SCALE: 1" = 30"  
Approved Date: 6/22/2016

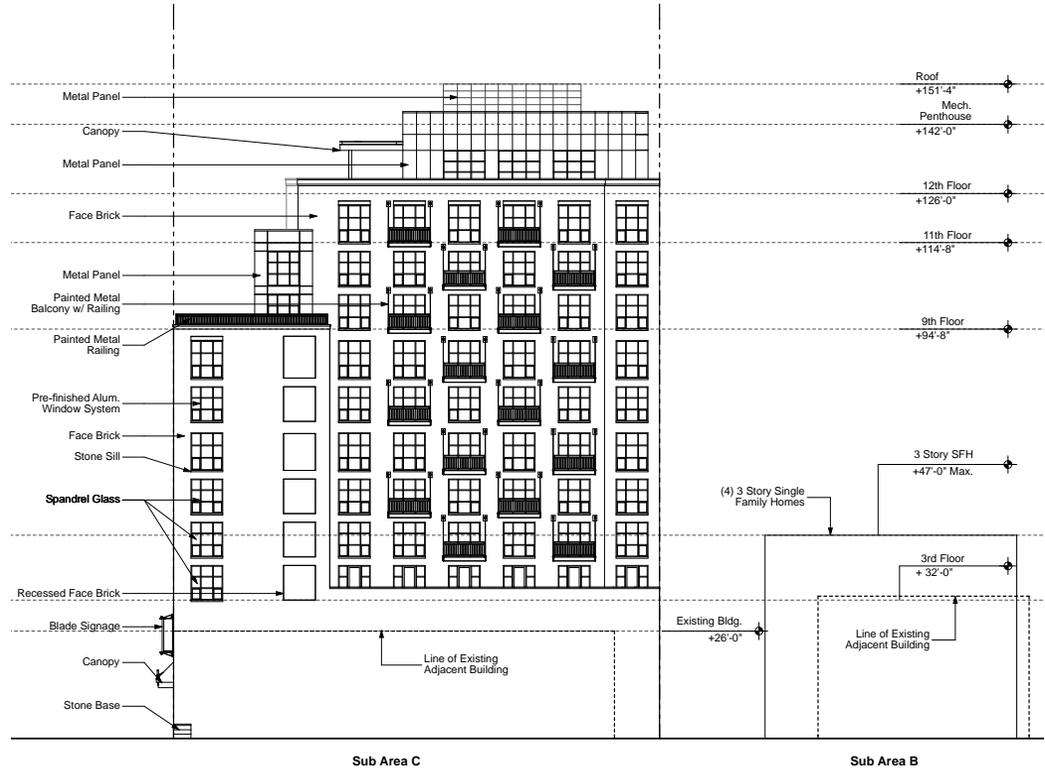
EAST (MAIN) ELEVATION COMPARISON



**EAST (MAIN) ELEVATION**



**1b** North Elevation - Proposed  
SCALE: 1" = 30'

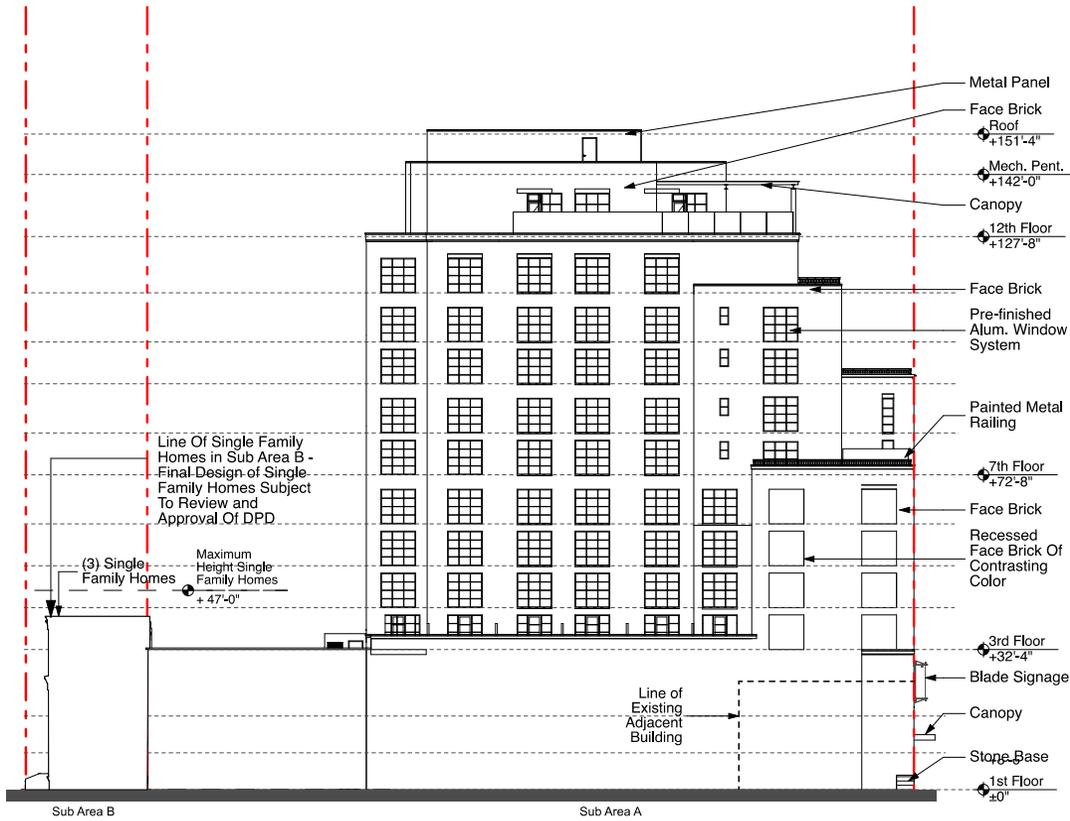


**1a** North Elevation - Approved PD #1335  
SCALE: 1" = 30'  
Approved Date: 6/22/2016

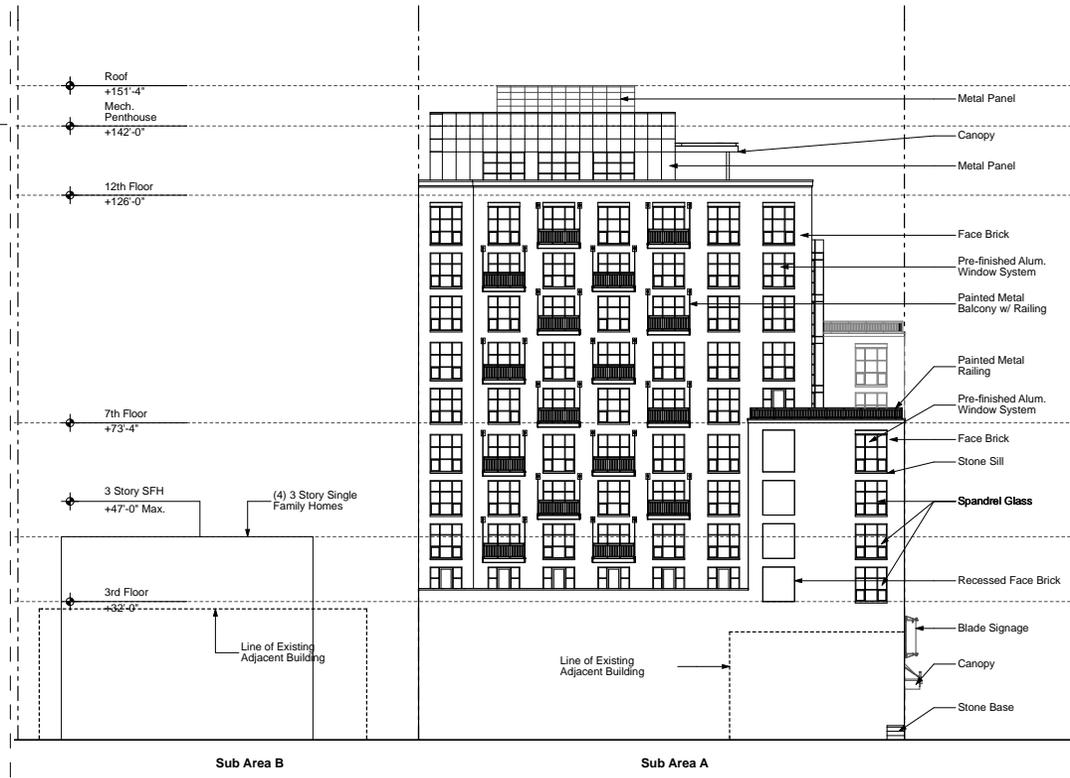
**NORTH ELEVATION COMPARISON**



**NORTH ELEVATION**



**1b** South Elevation - Proposed  
SCALE: 1" = 30'

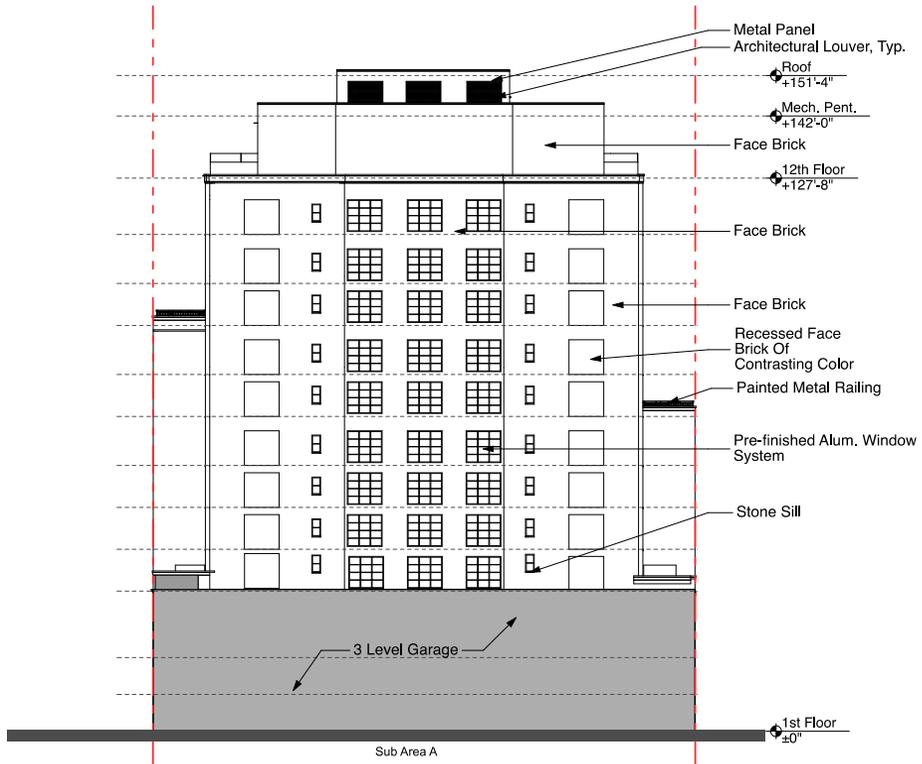


**1a** South Elevation - Approved PD #1335  
SCALE: 1" = 30'  
Approved Date: 6/22/2016

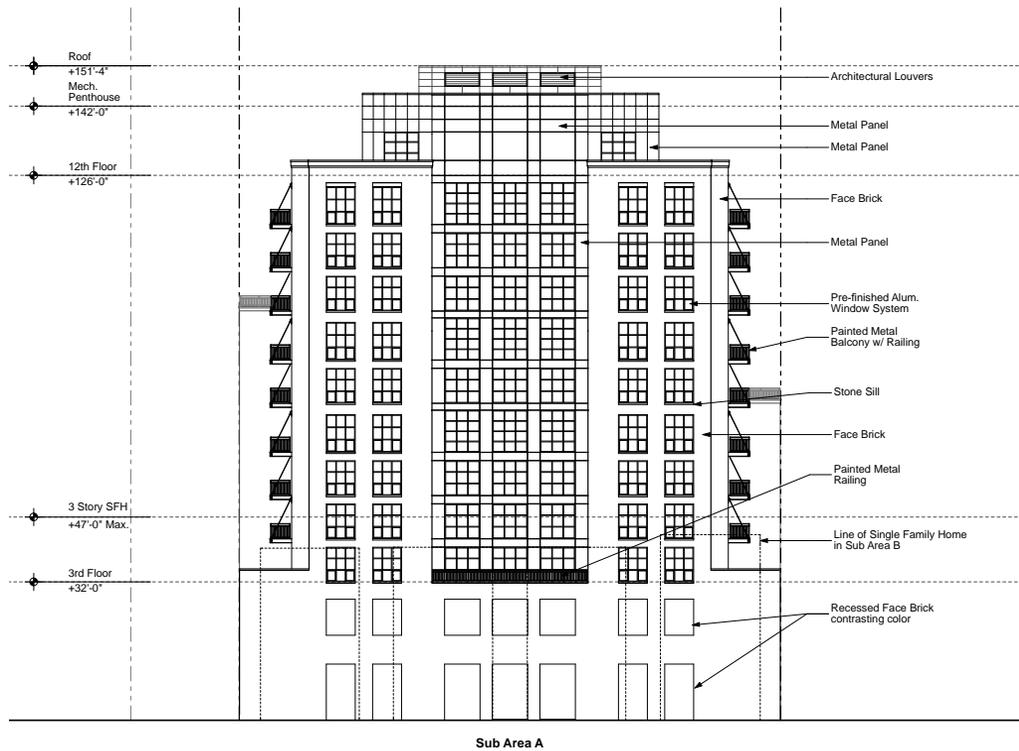
# SOUTH ELEVATION COMPARISON



**SOUTH ELEVATION**



**1b** West Elevation - Proposed  
 SCALE: 1" = 30"



**1a** West Elevation - Approved PD #1335  
 SCALE: 1" = 30"  
 Approved Date: 6/22/2016



**WEST ELEVATION**



1b Wieland Street Elevation - Proposed



1a Wieland Street Elevation - Approved PD #1335

Approved Date: 6/22/2016

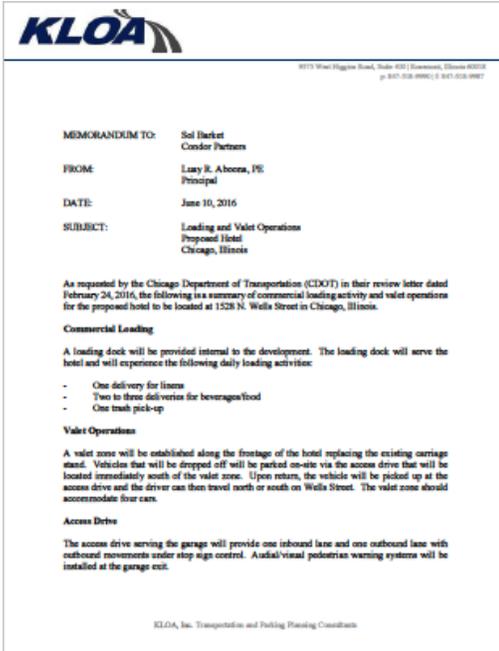
<p>Applicant: <b>Wellstel, LLC</b>          Address: 1520-1532 N. Wells Street / 1513-1523 N. Wieland Street          Chicago, IL 60610          Introduction Date: <b>March 16th, 2016</b>          Plan Commission Date: <b>June, 16th, 2016</b></p>	<p>PAPPA          GEORGE          HAYMES</p>	<p><b>pappageorgehaymes partners</b>          640 N. LaSalle, Suite 400          Chicago, IL 60654          O 312.337.3344 F 204.8888          www.pappageorgehaymes.com</p>	<p>West Elevation</p>
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TYPICAL HOTEL FLOOR





## Commercial Loading

A loading dock will be provided internal to the development. The loading dock will serve the hotel and will experience the following daily loading activities:

- One delivery for linens
- Two to three deliveries for beverages/food
- One trash pick-up

## Valet Operations

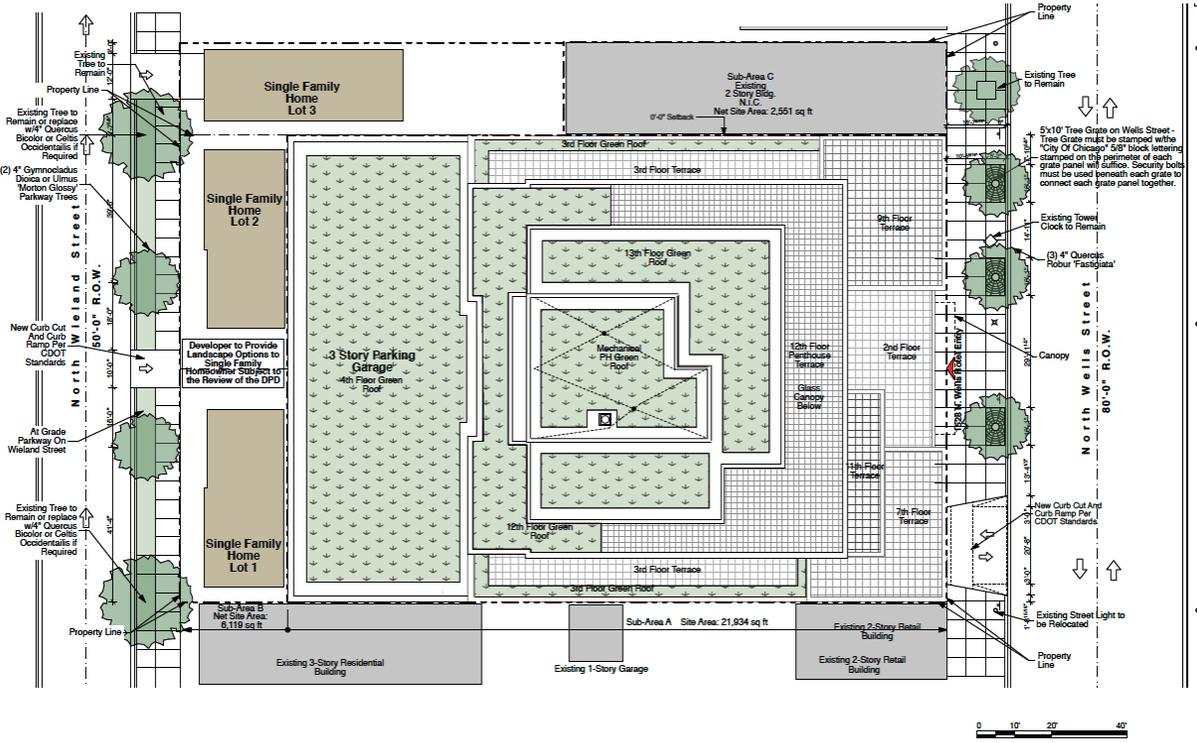
A valet zone will be established along the frontage of the hotel replacing the existing carriage stand. Vehicles that will be dropped off will be parked on-site via the access drive that will be located immediately south of the valet zone. Upon return, the vehicle will be picked up at the access drive and the driver can then travel north or south on Wells Street. The valet zone should accommodate four cars.

## Access Drive

The access drive serving the garage will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Audial/visual pedestrian warning systems will be installed at the garage exit.

The project will comply with the Chicago Sustainable Development Policy 2017 by pursuing the following sustainable strategies to comply with New Construction (100 points needed) requirements:

- Green Globes 3-Globes Certification = 80 points
- Greater than 50% Green Roof coverage = 10 points
- Electrical car charging stations in parking garage = 10 points



We are working with McHugh Construction for this project.  
From McHugh Construction:

## COMMITMENT TO DIVERSITY

*McHugh has long believed in engaging and supporting the community we work in. We pride ourselves on developing strong relationships with our community partners and diverse businesses. Our commitment to these principles starts at the very top of our organization, and our project teams are dedicated to ensuring that this commitment is carried out on each and every one of our projects.*

We will be pursuing the City's Participation Goals of:

- 26% Participation from Qualified Minority Business Enterprises
- 6% Participation from Qualified Women Business Enterprises
- 50% Participation from Chicago Residents

The construction of this project is anticipated to require participation from MBE/WBE firms of the following trades: carpentry, finish carpentry, drywall, painting, millwork, miscellaneous metals, and flooring. We will be working with McHugh Construction to finalize the participating vendors as well as community hiring opportunities as the project progresses.

McHugh Construction has estimated that there will be **400 construction jobs created** for this project.

In addition, **we expect the hotel to create 215 jobs** for hotel operations, maintenance and food and beverage



# DPD Recommendations

- ❖ **The proposed amendment to the planned development continues to promote economically beneficial development patterns that are compatible with the character of existing neighborhood;**
- ❖ **Promotes transit, pedestrian and bicycle use, ensures accessibility for persons with disabilities and minimizes conflicts with existing traffic patterns in the vicinity, the subject site is considered a transit served location due to the proximity to the Sedgwick Station along the CTA brown line and is in close proximity to bus stops along various cta bus routes;**
- ❖ **The proposal follows Building Orientation and Massing suggestions contain in the Zoning Ordinance including bringing the proposed buildings edges up to the street frontages providing large transparent store front windows to create an active building wall adjacent to the public rights of way;**
- ❖ **All sides and areas of the buildings that are visible to the public should be treated with materials, finishes, and architectural details that are of high-quality and appropriate for use on primary public-right-of-way-facing façade**