



CHICAGO PLAN COMMISSION

Department of Planning and Development

LAKEFRONT PROTECTION ORDINANCE APPLICATION #747
425-475 E. CHICAGO RIVERWALK (SOUTH) (42ND Ward)
URBAN KAYAKS LLC

August 20, 2020

★ Community Area Snap Shot

COMMUNITY AREA INFORMATION:

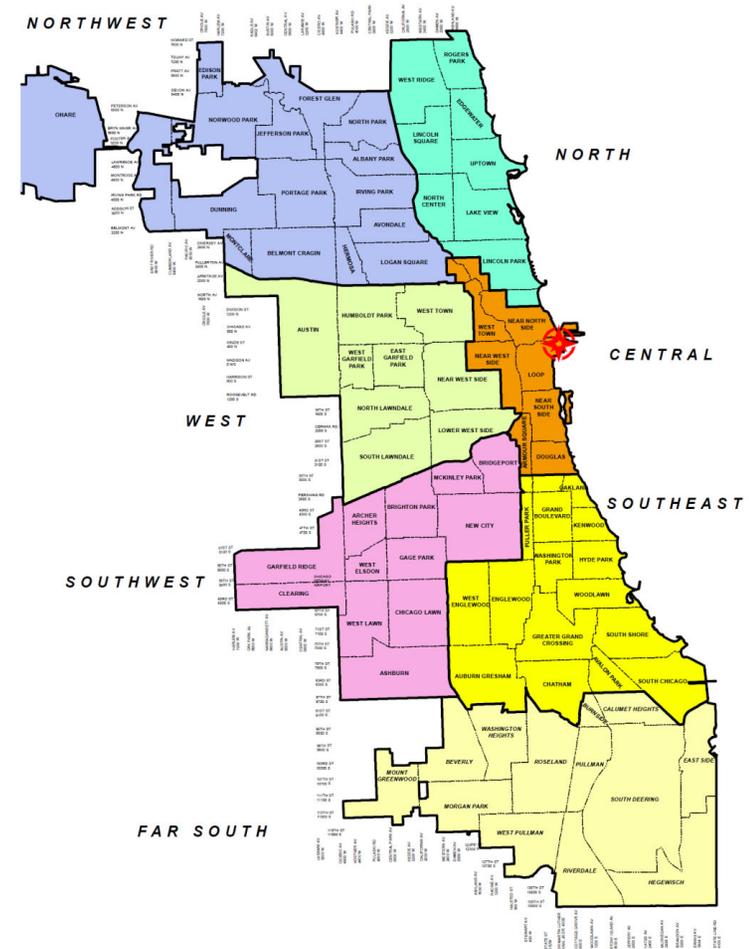
- Loop Community Area

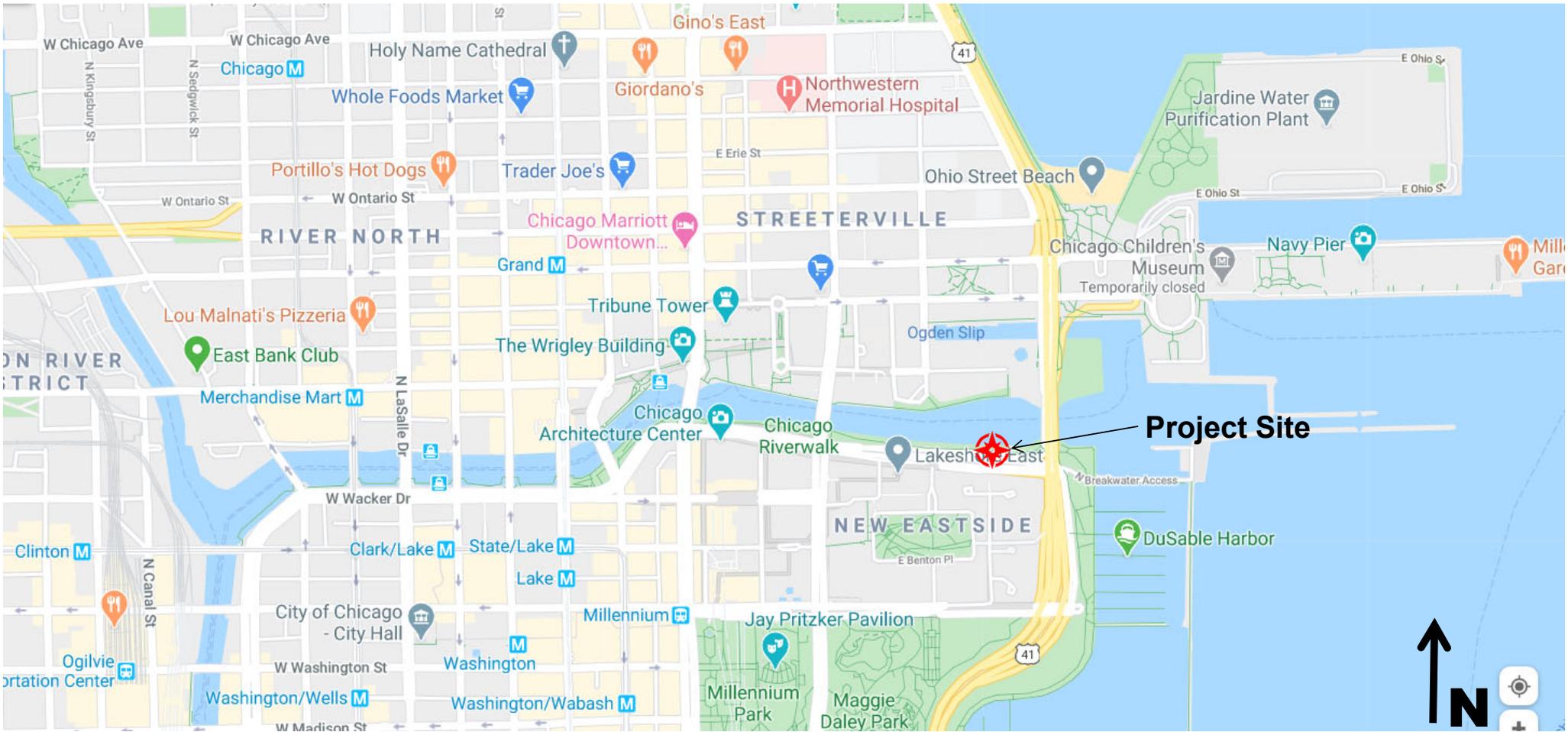


Central Area Action Plan 2009



Chicago Riverwalk

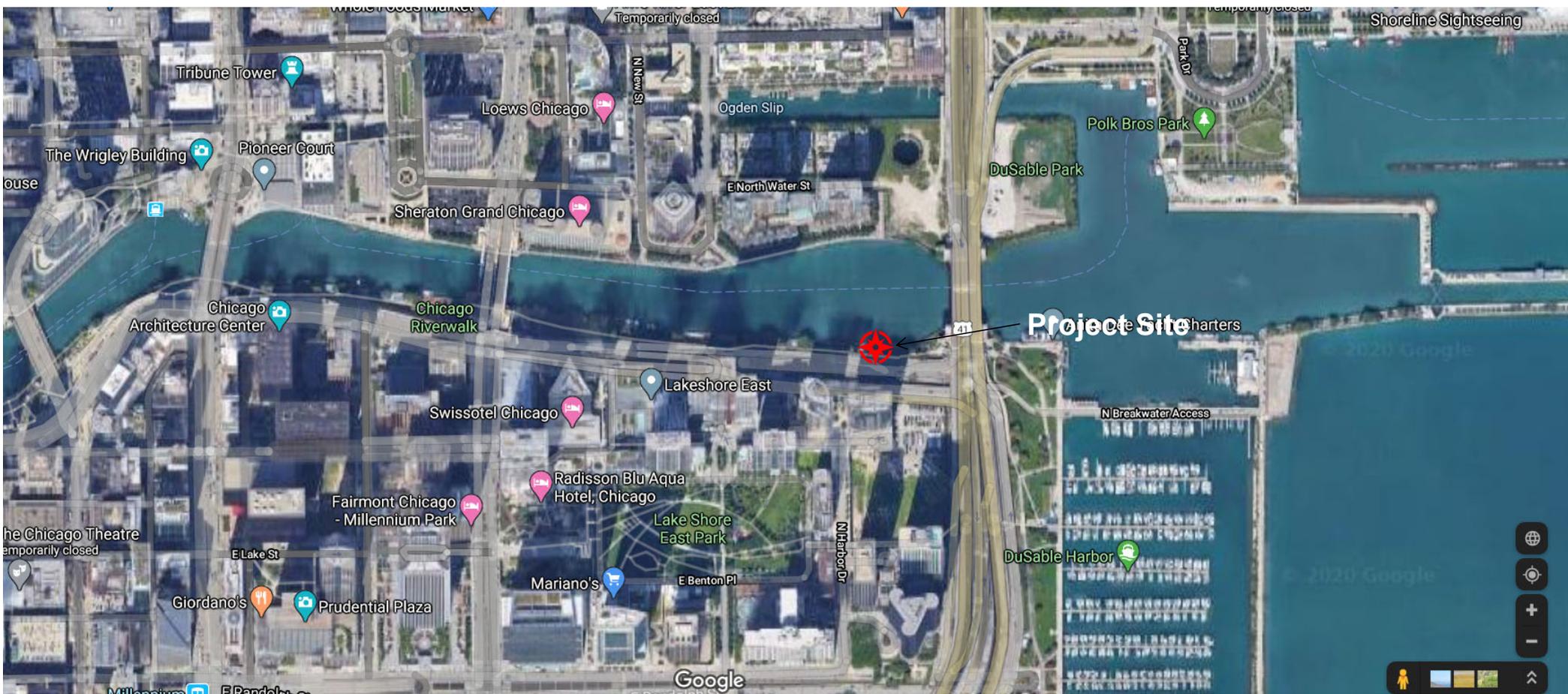




Project Site



SITE CONTEXT PLAN



AERIAL VIEW

★ Chicago Riverwalk Context Images



Riverwalk South Bank at N. Michigan Avenue

★ Chicago Riverwalk Context Images



Riverwalk South Bank at N. Michigan Avenue



Riverwalk South Bank at N. Columbus Drive

★ Urban Kayaks Existing Facility



View west from N. Lake Shore Drive



View east from N. Columbus Drive

Project Timeline + Community Outreach

- 10-Year License Agreement Approved by City Council: 2018
- Coordination with AIS, CDOT, DOB, DPD, Harbor Master, Fire & MOPD
- Coordination with Alderman Brendan Reilly (42nd Ward)
- Building Permit Application Filing: April 2020
- LPO Filing: July 22, 2020

★ Urban Kayaks Proposed Project



PROJECT SITES: **BUILDING 1 WEST** (PERMIT 1, APP# 100870084) 425 EAST RIVERWALK
BUILDING 2 CENTER (PERMIT 3, APP# 100870088) 457 EAST RIVERWALK
BUILDING 3 EAST (PERMIT 2, APP# 100870085) 473 EAST RIVERWALK



Current



Figure 7b



Figure 7a

ISSUE: 07-22-2020

Kayak Storage Facility

Rendering: West facing N. Lake Shore Dr.



Ticketing Operations

Rendering: West facing N. Lake Shore Dr.



Theater and Restrooms

Rendering: West facing N. Lake Shore Dr.



Cantina and Outdoor Dining
Rendering: West facing N. Lake Shore Dr.

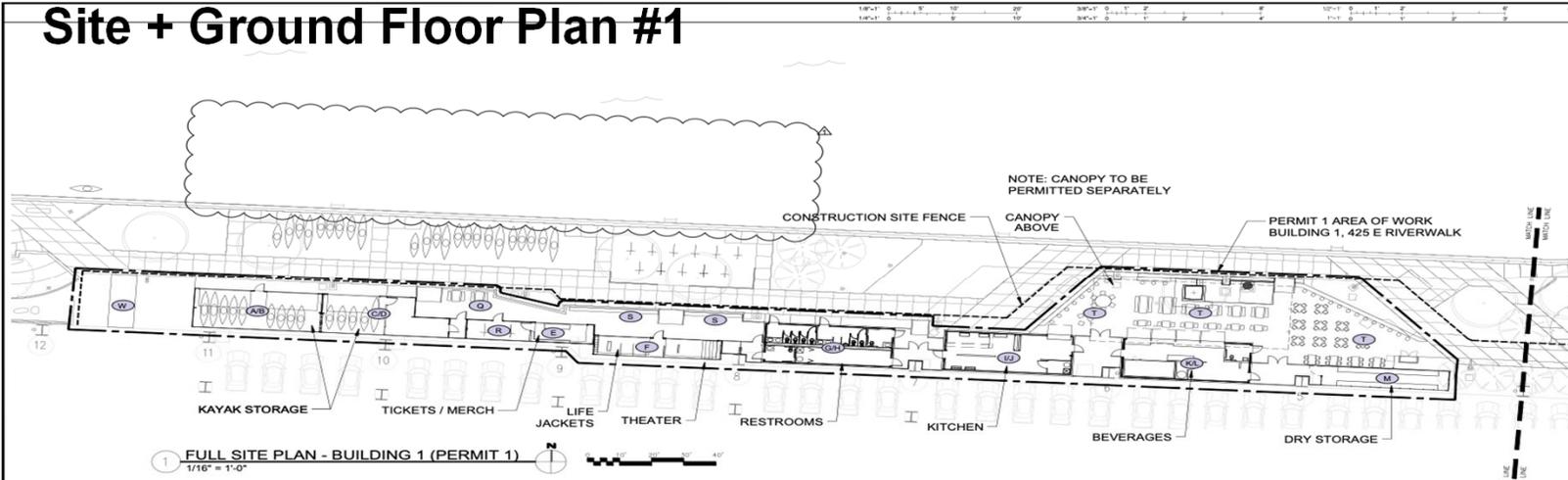


Fitness Activity Area
Rendering: West facing N. Lake Shore Dr.



Café and Restrooms
Rendering: West facing N. Lake Shore Dr.

Site + Ground Floor Plan #1



- SITE GENERAL NOTES**
1. PROVIDE TEMPORARY SECURE FENCE AT ALL WORK AREAS, ESPECIALLY BELOW HIGH WORK.
 2. COORDINATE WITH ALL OTHER RIVERWALK PROJECTS TAKING PLACE CONCURRENTLY IN THE AREA.
 3. PROTECT ALL EXISTING SITE ELEMENTS & PLANTINGS FROM DAMAGE DURING CONSTRUCTION.
 4. MAINTAIN ADA ACCESS AND EMERGENCY EGRESS THROUGHOUT AND PAST SITE DURING CONSTRUCTION.
 5. USE WOOD PLANKS / SHEETS TO PROTECT SITE FROM DAMAGE BY LIFTS OR OTHER HEAVY EQUIPMENT.
 6. FILL PITS / HOLES MADE BY EQUIPMENT AND RETURN SITE TO LEVEL AT END OF PROJECT. RESTORE LANDSCAPE AND HARDSCAPE.
 7. COORDINATE ACCESS TO PATH AND WORK AREAS WITH OWNER AND OTHER PRODUCTS.

- PROGRAM SPACES BY CONTAINER**
- (A,B) KAYAK STORAGE (EXISTING CONTAINERS)
 - (C,D) KAYAK / EQUIPMENT STORAGE (EXISTING CONTAINERS)
 - (E) TICKETS & MERCHANDISE (NEW CONTAINER)
 - (F) LIFE JACKETS, LOCKERS, VIDEO TRAINING (EXISTING CONTAINER)
 - (G,H) RESTROOMS & DRY STORAGE (NEW CONTAINERS)
 - (I) KITCHEN (NEW CONTAINERS)
 - (J,K) BEVERAGE SERVICE & RESTROOM (NEW CONTAINERS)
 - (L) INACTIVE DRY STORAGE (EXISTING CONTAINER)
 - (N) GAME STORAGE (NEW CONTAINER)
 - (O) CAFE (NEW OR REUSED EXISTING CONTAINER)
 - (P) RESTROOMS (NEW CONTAINER)

- OUTDOOR SPACES**
- (A) CHANGING AREA FOR TICKETS
 - (R) PADDLE TESTING
 - (S) WAITING
 - (T) RESTAURANT SEATING / CULTURAL PROGRAMMING
 - (U) MULTI-USE FITNESS / GAMING AREA
 - (V) CAFE SEATING
 - (W) LOADING AREA (CONC PATH)

STANDARD CONTAINER SIZES

40' HIGH CUBE: 40' (L) X 8' (W) X 9'-6" (H)

20' HIGH CUBE: 20' (L) X 8' (W) X 9'-6" (H)



URBANKAYAKS AND URBANCANTINA
425 E. 475 E. 473 E RIVERWALK
CHICAGO, IL 60611

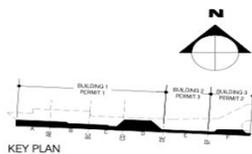
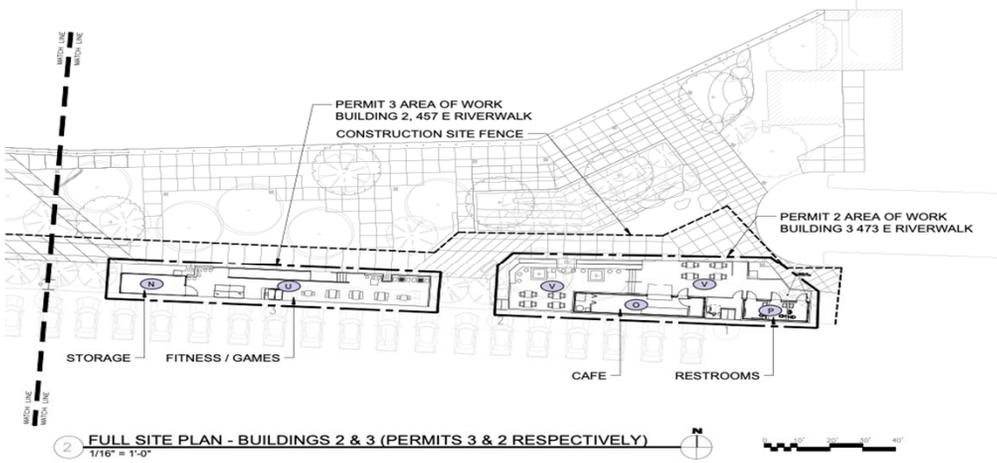
NO.	DATE	ISSUANCE	DESCRIPTION
	04/30/00		ISSUE FOR PERMIT
	05/29/00		PERMIT REVISIONS
	06/18/00		PERMIT REVISIONS

PROJ. # 2004

DRAWN BY: GEA MB
CHECKED BY: TS
APPROVED BY: TS
SCALE: AS SPECIFIED
DATE:

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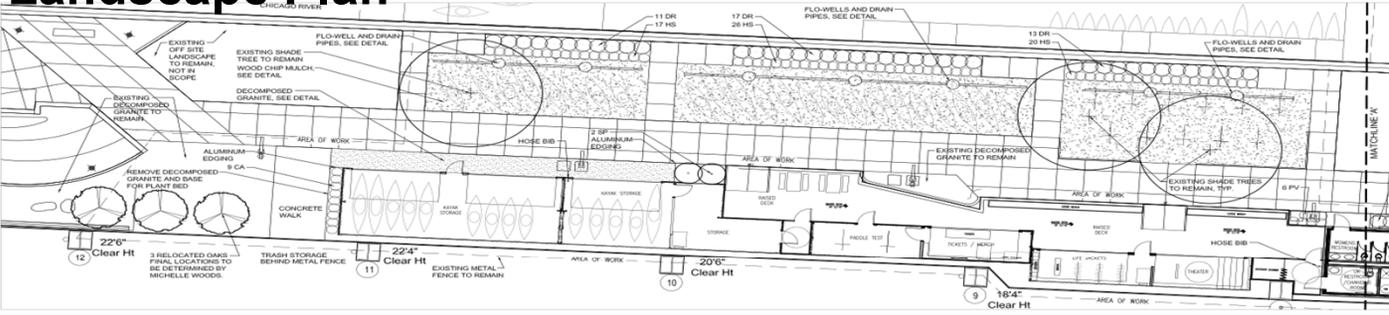
SCALE:
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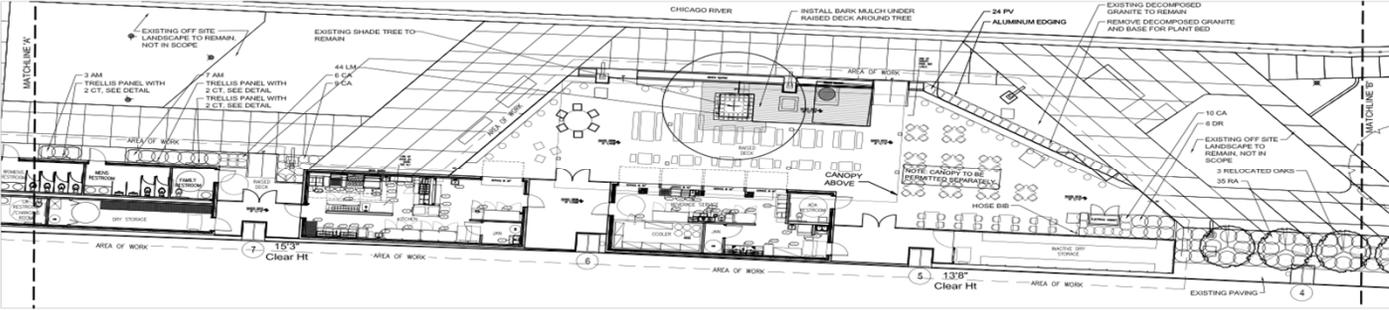
SHEET TITLE
FULL SITE PLAN

SHEET NO.
A1.0

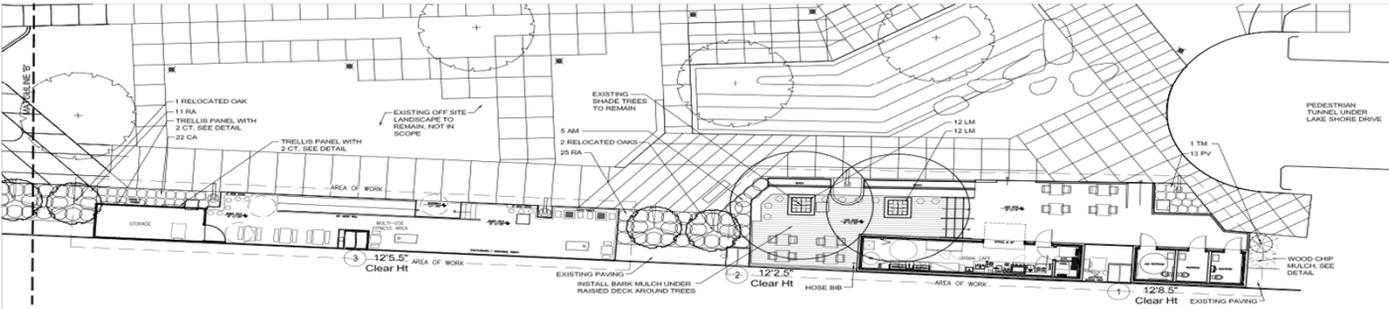
Landscape Plan



1 LANDSCAPE PLAN - WEST SECTION
SCALE: 1" = 10'-0"



2 LANDSCAPE PLAN - MIDDLE SECTION
SCALE: 1" = 10'-0"



3 LANDSCAPE PLAN - EAST SECTION
SCALE: 1" = 10'-0"

PLANT LIST			
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY
DECIDUOUS SHRUBS			
AM	ARONIA MELANOCARPA 'UNIONHAM'®	LOWSPICE REDDER BLACK CHROME BERRY	3 GALLON 15
DR	DIERVILLA RIVULARIS KODAK®	KODAK ORANGE BUSH - HONEY Suckle	5 GALLON 47
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	3 GALLON 71
SP	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	30" HT x 30" W 2
EVERGREEN SHRUBS			
TM	TAXUS x MEDIA 'HICKORY'	HICKORY YEW	42" HT x 30" W 1
PERENNIALS, ORNAMENTAL GRASSES AND VINES			
CA	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GALLON 47
CT	CLEMATIS 'TERRIFLORA'	SWEET AUTUMN CLEMATIS	2 GALLON 10
HS	HELICTROCHON 'SEMPERVIRENS'	BLUE OAT GRASS	1 GALLON 63
LM	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED CREEPING LILYPURP	1 QUART 68
PV	PANICUM VIRGATUM 'SHERMANS'	SHERMANS RED SWITCH GRASS	3 GALLON 43

MAINTENANCE STATEMENT BY OWNER
THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLANS FOR THE PROPERTY AT 436 - 500 E. RIVERWALK, CHICAGO, ILLINOIS, 60611, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED AND RE-MAINTAINED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'SIDE TO THE CHICAGO LANDSCAPE ORDINANCE'.

TREE PROTECTION STATEMENT BY OWNER
EXISTING PARKWAY AND ON-SITE INTERIOR TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT OR SUBSEQUENT OWNER IF DAMAGED.

ISSUANCE NO. DATE DES 04/15/20 04/24/20 RE-ISSUE 05/04/20 ISSUE

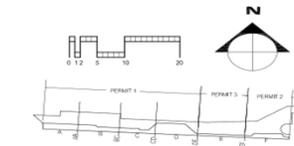
PROJ. #: 2004

OWNER: [Signature] DATE: APRIL 15, 2020
DRAWN BY: PENDELTON
CHECKED BY:
APPROVED BY:
SCALE: 1" = 10'-0"
DATE: 04/15/2020

PLAN PREPARATION STATEMENT BY LANDSCAPE ARCHITECT
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLANS FOR THE PROPERTY AT 436 - 500 E. RIVERWALK, CHICAGO, ILLINOIS, 60611, HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'SIDE TO THE CHICAGO LANDSCAPE ORDINANCE'.

REGISTERED LANDSCAPE ARCHITECT: [Signature] DATE: APRIL 10, 2020

ESTIMATED TIME OF PLANTING INSTALLATION
PENDING ANY DELAYS IN CONSTRUCTION, IT IS ESTIMATED THAT THE LANDSCAPE PLANTING TIME WILL BE JUNE 15, 2020.



ISSUANCE		
NO.	DATE	DES
	04/15/20	ISSUED
	04/24/20	RE-ISSUE
	05/04/20	ISSUE

PROJ. #: 2004

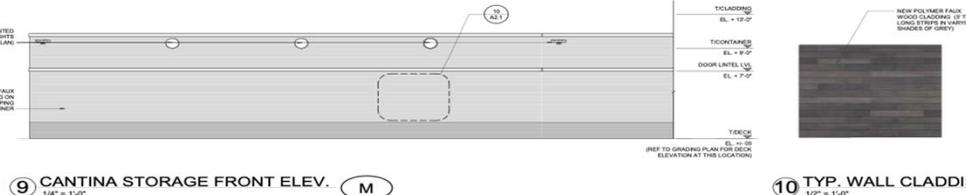
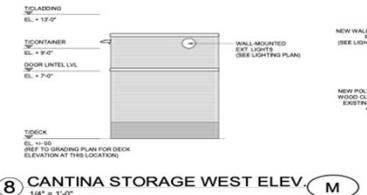
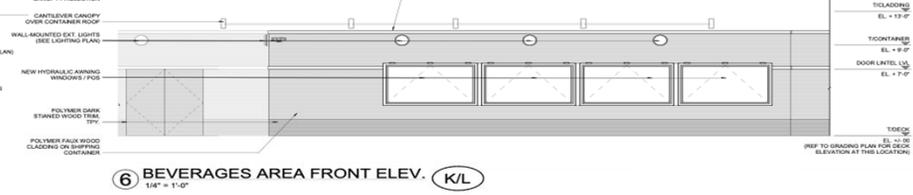
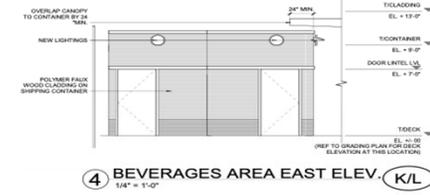
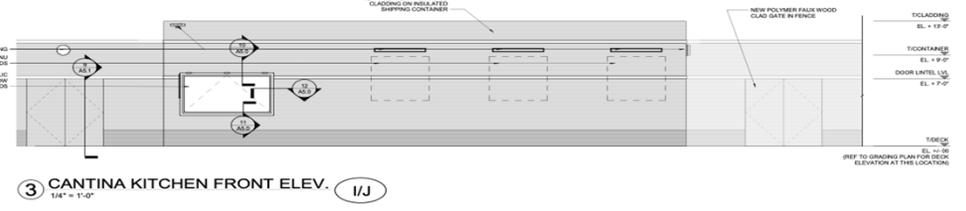
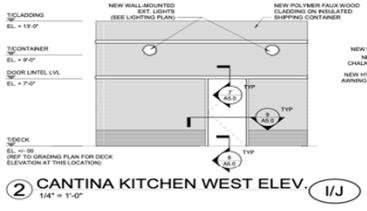
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DRAWN BY: PENDELTON
CHECKED BY:
APPROVED BY:
SCALE: 1" = 10'-0"
DATE: 04/15/2020

JOHNSON LASKY ARCHITECTURE
STATE OF ILLINOIS
LANDSCAPE ARCHITECT
NO. 08-01-2022
DATE: APRIL 10, 2020

SCALE: 1" = 10'-0"
DATE: 04/15/2020

SHEET TITLE
LANDSCAPE PLAN
SHEET NO.
L1.

Elevation Building 1B (Permit 1)



JLK
JOHNSON LASKY KINDELIN
ARCHITECTS
230 West Madison, Suite 210
Chicago, Illinois 60604
312.937.1211 | jkarch.com

URBAN
KAYAKS
AND
URBAN
CANTINA
425 E. 45TH E. & 47TH E. RIVERWALK
CHICAGO, IL 60611

NO.	DATE	ISSUANCE	DESCRIPTION
1	04/13/20	ISSUE FOR PERMIT	

PROJ. #: 2004
DRAWN BY: CEJ, MB
CHECKED BY: TS
APPROVED BY: JS
SCALE: AS SPECIFIED
DATE: _____
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PROJECT SCALE: 1/4\"/>



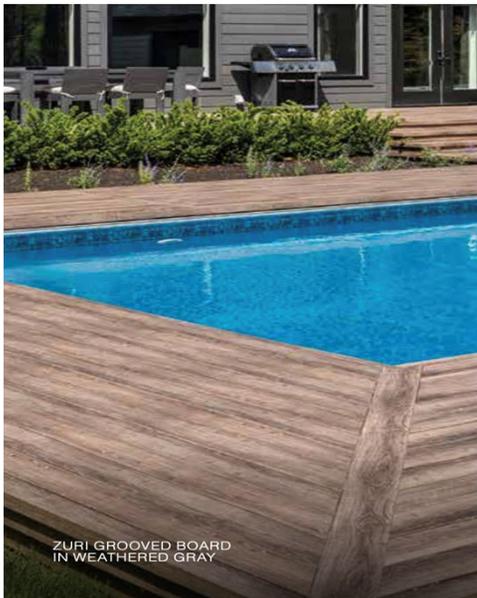
SHEET TITLE
ELEVATIONS - BUILDING 1B (PERMIT 1)

SHEET NO.
A2.1

Garage Door Graphic

BUILDING MATERIALS

- Zuri Premium Decking to serve as Facade on all buildings





CHICAGO RIVERWALK

TACORIO



URBAN KAYAKS

CHICAGO, IL



Lakefront Protection - 14 Policies

- 1. Complete the publicly owned and locally controlled park system along the entire lakefront**
- 2. Maintain and enhance the landscaped, spacious, and continuous character of the lakeshore parks**
3. Continue to improve the water quality and ecological balance of Lake Michigan
- 4. Preserve the cultural, historical, and recreational heritage of the lakeshore parks**
5. Maintain and improve the formal character and open water vista of Grant Park with no new above-ground structures permitted
- 6. Increase the diversity of recreational opportunities while emphasizing lake-oriented leisure activities**
7. Protect and develop natural lakeshore park and water areas for wildlife habitation
- 8. Increase personal safety**
9. Design all lake edge and lake construction to prevent detrimental shoreline erosion
- 10. Ensure a harmonious relationship between the lakeshore parks and community edges but in no instance allow private development east of Lake Shore Drive**
- 11. Improve access to lakeshore parks and reduce vehicular traffic on secondary park roads**
- 12. Strengthen the parkway characteristics of Lake Shore Drive**
- 13. Ensure all port, water supply, and public facilities are designed to enhance lakefront character**
- 14. Coordinate all public and private development within the water, park, and community zones**

★ DPD Recommendation

- The proposal is consistent with the Purposes of that Lake Michigan and Chicago Lakefront Protection Ordinance and the Policies of the Lakefront Plan of Chicago



Figure 7b