



CHICAGO PLAN COMMISSION

Department of Planning and Development

2542 - 2558 South Federal Street and 100 - 108 West 26th Street

South Loop / 3rd Ward / Ald. Pat Dowell

Developer: 548 Capital, LLC.

Architect: Gregory Ramón Design Studio, Inc.

Attorney: Neal & Leroy

09/06/2022



Project Description

The Applicant requests a rezoning of the subject property from the C1-3 Neighborhood Commercial District to the B2-5 Neighborhood Mixed-Use District then to a Planned Development;

To permit the rehabilitation and new construction additions to an existing warehouse with an adapted re-use to provide a multi-family housing development. The structure will contain 25 total vehicular parking spaces, 28 bike parking spaces, and 47 residential apartment units.

Project Narrative

The development objective for the existing multi-story concrete and masonry structure located at 2542 – 2558 S. Federal St. & 100 – 108 W. 26th Street consists of creating both affordable and market rate units within the building. To create 47 total units, a one-story addition at the existing upper roof level and a one-story and a two-story addition over the existing 3-story level will be created. All new windows will be minimum double-pane with low-e coating aluminum steel replica windows to match the historic character of the building. The additions will be clad in dark grey zinc panels installed in a running bond pattern. This will provide a modern, complimentary distinguished statement to the existing building. The high-quality finishes and attention to the detail of the existing structure will visually engage the residents and surrounding community. The residents of the building will be provided with roof top amenity space that will provide indoor / outdoor space for gathering and entertainment. Solar PV will be installed on the roof of the addition to provide onsite energy generation to offset the overall resource consumption and reduce the carbon footprint of the building. The development will contain 25 onsite, secured garage entrance parking spaces at the ground level making use of the existing garage space and two existing garage door openings that provide an entrance and exit from the space. No residential units will be contained on the ground floor level.

The site improvements will consist of landscaping and new sidewalks. The narrow rear yard on the west side of the building is proposed to be used as a dog run for resident pets. This development proposed that the existing lot be re-zoned to B2-5 in order to construct the proposed additions that will allow the development to maximize the number of units that are possible with this site and building. B2-5 allows a maximum FAR up to 5.0; based on the net site area of the planned development which is 19,158.89 SF, the proposed design at 70,948 SF will have a FAR of 3.70 (excludes roof areas ground level space allocated towards parking & vehicle circulation – see space allocation summary on this page). The existing tower is 82'+/- above grade. The new addition will be 9'-3" lower than the height of the existing tower and the uppermost portion of the addition will be setback from the east face of the tower a distance of 18'-8", allowing the tower element to remain prominent. The height of the tallest portion of the new addition in accordance with CZO 17-17-0311-A will be 68'-0". The height to the bottom of the existing tower roof structure is roughly 78'-8". The tower is being used to create two (2) multi-level 1-bedroom units.

SPACE ALLOCATION SUMMARY	
LEVEL	AREA
COMMON	
1ST FLOOR	6,801 SF
2ND FLOOR	3,668 SF
3RD FLOOR	3,668 SF
4TH FLOOR	3,668 SF
5TH FLOOR	4,180 SF
5TH UPPER FLOOR	134 SF
COMMON EXTERIOR	
5TH FLOOR	2,034 SF
GARAGE	
1ST FLOOR	10,661 SF
RESIDENTIAL	
2ND FLOOR	12,718 SF
3RD FLOOR	12,718 SF
4TH FLOOR	12,695 SF
5TH FLOOR	9,401 SF
5TH UPPER FLOOR	666 SF
TOTAL SQ. FT.	83,642 SF
SQ. FT FOR FAR CALCULATION - EXCLUDES GARAGE PARKING, DRIVE AISLE AND EXTERIOR ROOF AREAS:	
	70,948 SF
EXISTING LOT AREA:	19,158.89 SF
PROPOSED P.D. SITE AREA:	29,661.14 SF



Community Area Snap Shot

Demographic Data: Armour Square

General Population Characteristics, 2020

	Armour Square
Total Population	13,890
Total Households	5,648
Average Household Size	2.4
Percent Population Change, 2010-20	3.7
Percent Population Change, 2000-20	15.4

Source: 2000, 2010 and 2020 Census.

Vehicles Available per Household, 2016-2020

	Armour Square	
	Count	Percent
No Vehicle Available	2,196	40.2
1 Vehicle Available	2,096	38.3
2 Vehicles Available	933	17.1
3 or More Vehicles Available	242	4.4

Source: 2016-2020 American Community Survey five-year estimates.

Household Size, 2016-2020

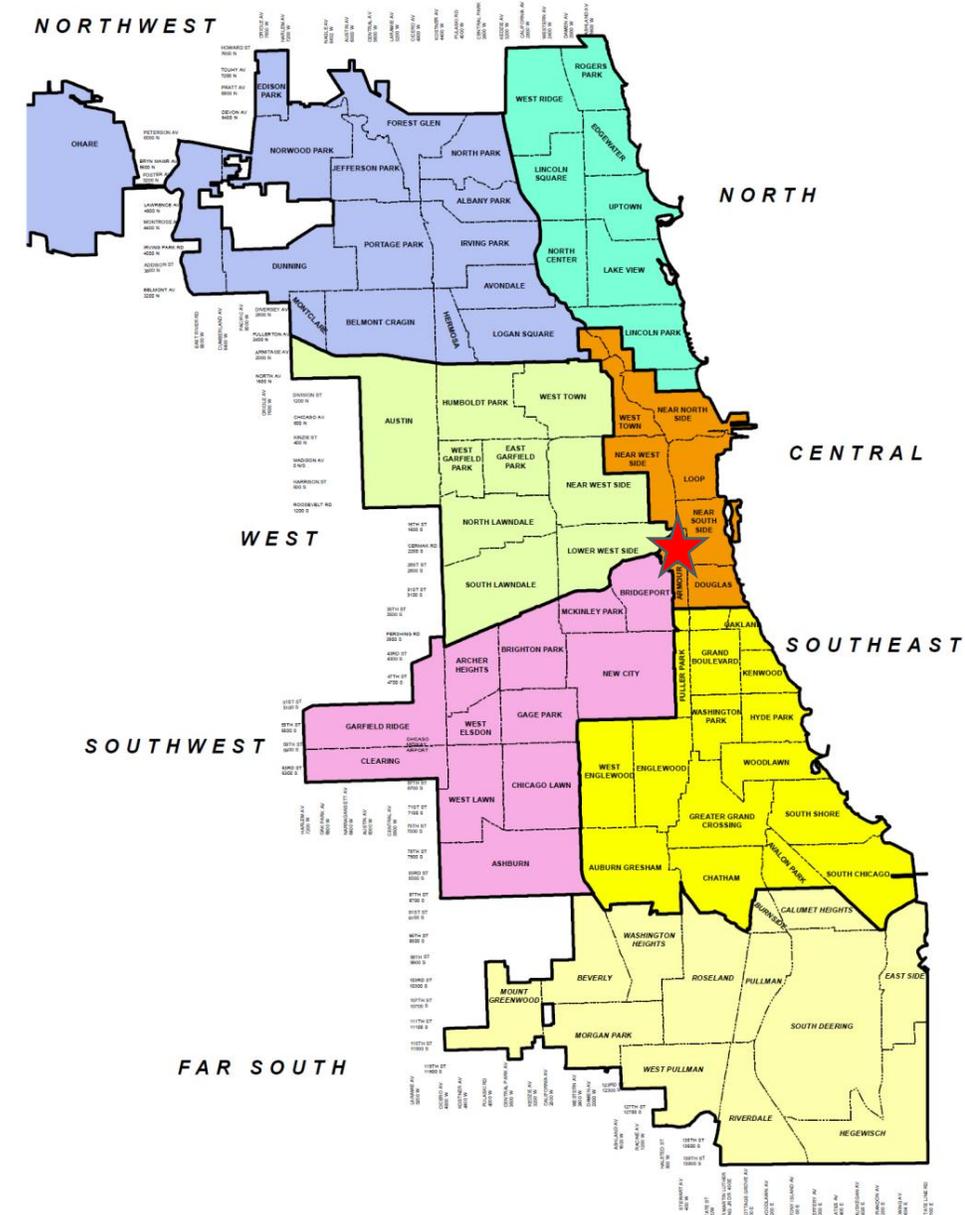
	Armour Square	
	Count	Percent
1-Person Household	2,022	37.0
2-Person Household	1,563	28.6
3-Person Household	844	15.4
4-or-More-Person Household	1,039	19.0

Source: 2016-2020 American Community Survey five-year estimates.

Household Income, 2016-2020

	Armour Square	
	Count	Percent
Less than \$25,000	2,227	40.7
\$25,000 to \$49,999	911	16.7
\$50,000 to \$74,999	684	12.5
\$75,000 to \$99,999	703	12.9
\$100,000 to \$149,999	381	7.0
\$150,000 and Over	561	10.3
Median Income	\$37,123	
Per Capita Income*	\$24,901	

Source: 2016-2020 American Community Survey five-year estimates.



Cultural / Historic Context



RAPID ROLLER COMPANY
FEDERAL at 26th STREET, CHICAGO, ILL.

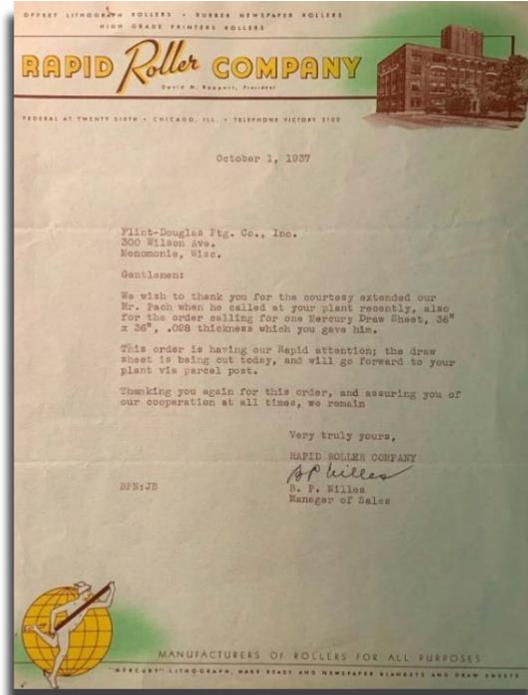
We appreciate your order and want you to know that your satisfaction is of utmost importance to us, and that with our great facilities, we stand ready to serve you in any problem. We thank you!

RAPID ROLLER COMPANY
D. M. Rapport, President
Federal at Twenty-Sixth Street
CHICAGO

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OFFSET LITHOGRAPH ROLLERS - RUBBER NEWSPAPER ROLLERS
HIGH GRADE PRINTERS ROLLERS

RAPID ROLLER COMPANY
DAVID M. RAPPORT, President

FEDERAL AT TWENTY-SIXTH - CHICAGO, ILL. - TELEPHONE VICTORY 5102

October 1, 1937

Pilot-Douglas Ptg. Co., Inc.
300 Wilson Ave.
Menomonee, Wis.

Gentlemen:

We wish to thank you for the courtesy extended our Mr. Pach when he called at your plant recently, also for the order calling for one Mercury Draw sheet, 36" x 36", .038 thickness which you gave him.

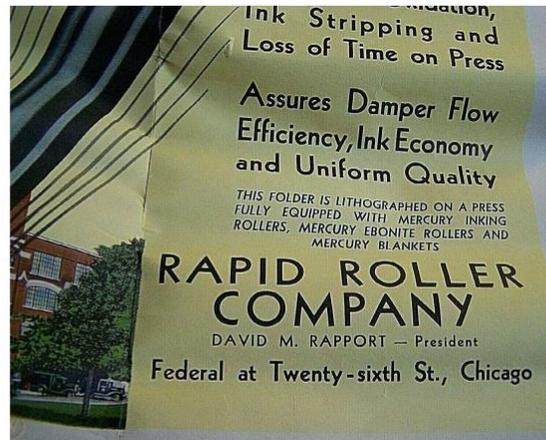
This order is having our Rapid attention; the draw sheet is being out today, and will go forward to your plant via parcel post.

Thanking you again for this order, and assuring you of our cooperation at all times, we remain

Very truly yours,
RAPID ROLLER COMPANY
S. P. Miles
S. P. Miles
Manager of Sales

HEB:JE

MANUFACTURERS OF ROLLERS FOR ALL PURPOSES
MERCURY LITHOGRAPH, MAKE READY AND NEWSPAPER BLANKETS AND DRAW SHEETS



Ink Stripping and Loss of Time on Press

Assures Damper Flow Efficiency, Ink Economy and Uniform Quality

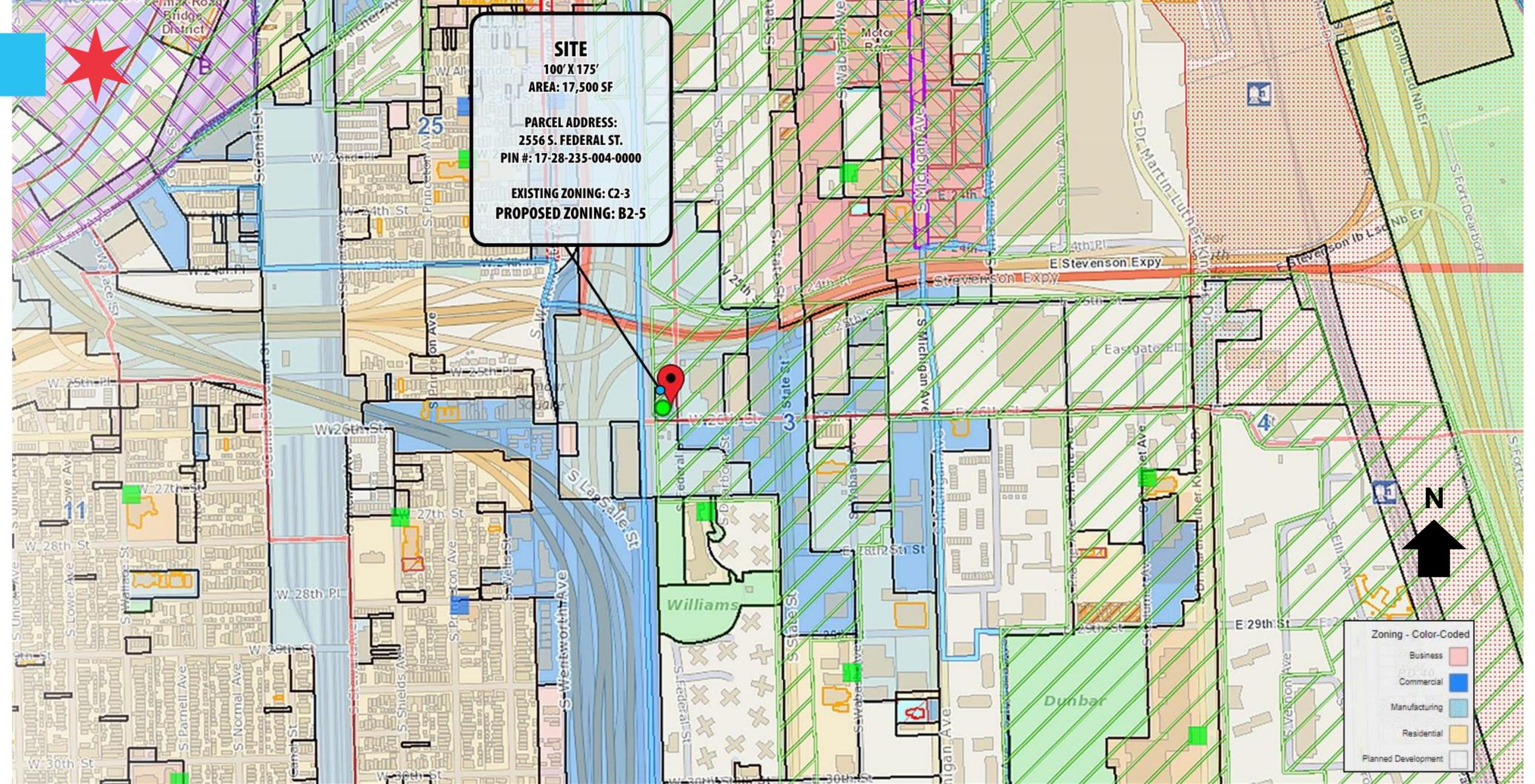
THIS FOLDER IS LITHOGRAPHED ON A PRESS FULLY EQUIPPED WITH MERCURY INKING ROLLERS, MERCURY EBONITE ROLLERS AND MERCURY BLANKETS

RAPID ROLLER COMPANY
DAVID M. RAPPORT - President
Federal at Twenty-sixth St., Chicago

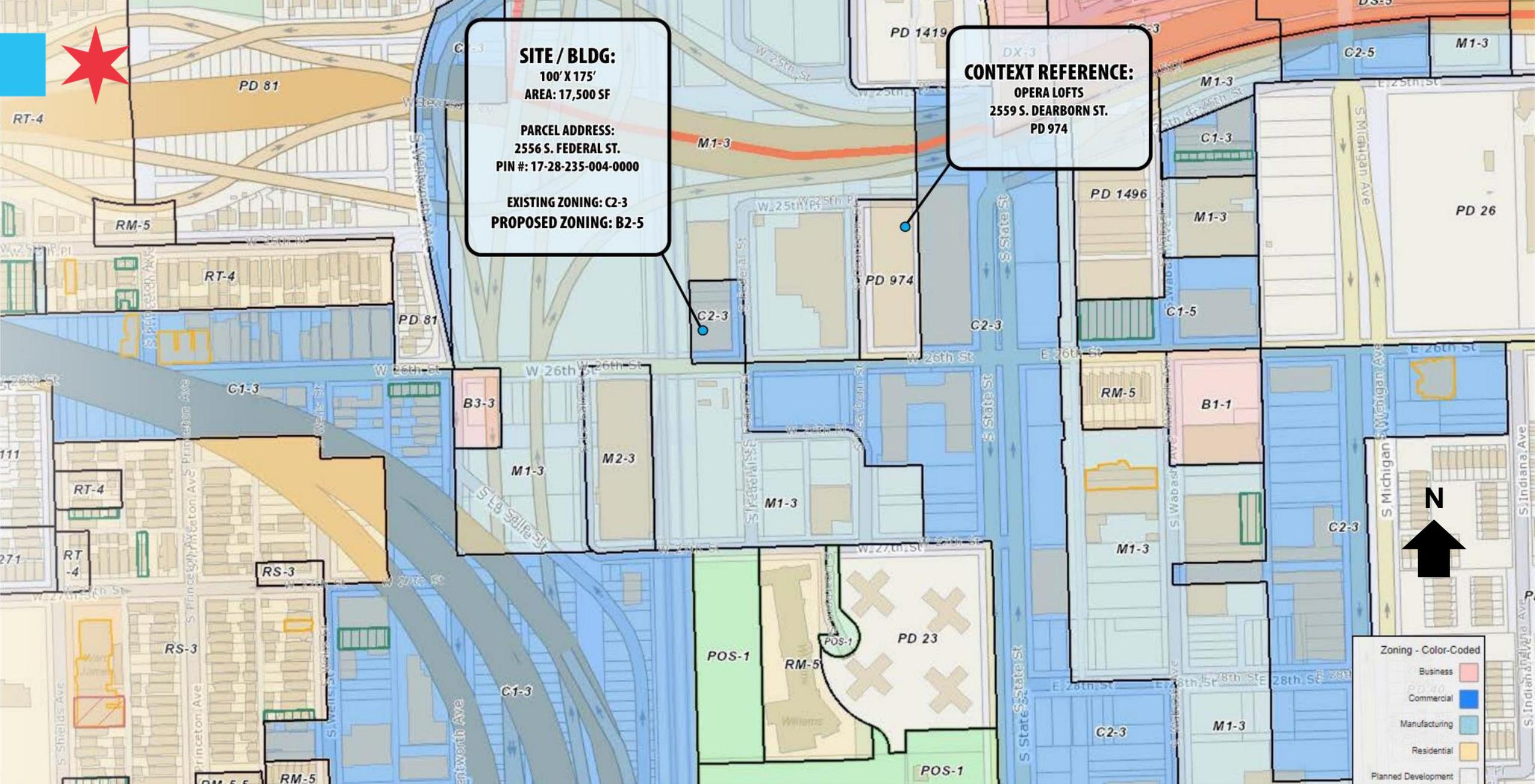




SITE CONTEXT



ZONING PLAN



LAND USE PLAN



VIEW LOOKING WEST ON W. 26TH STREET



VIEW LOOKING WEST ON W. 26TH STREET

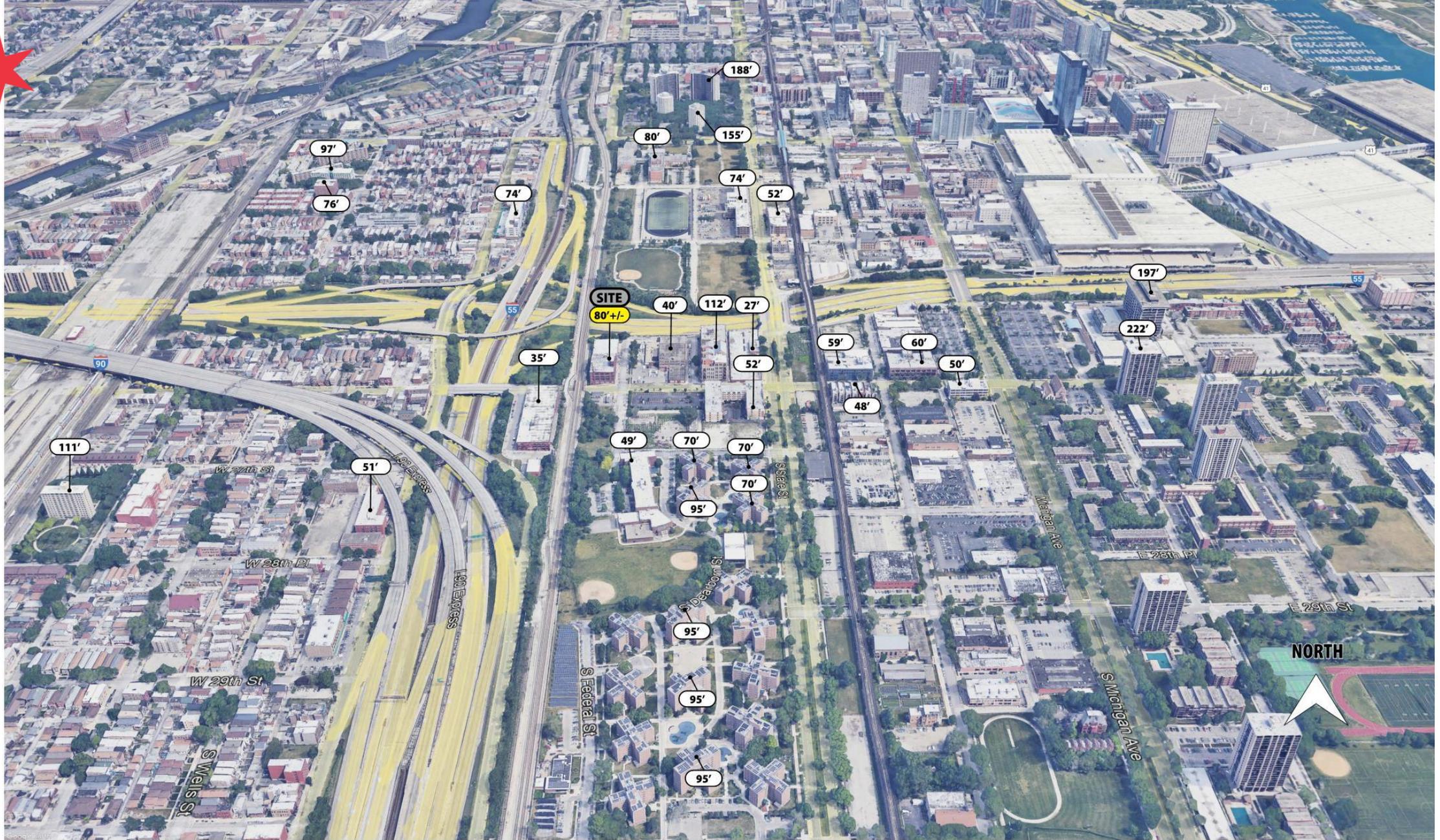


VIEW LOOKING EAST ON W. 26TH STREET



VIEW LOOKING EAST ON W. 26TH STREET

ADJACENT SITE CONTEXT



ADJACENT SITE CONTEXT – BUILDING HEIGHTS



SUBJECT PROPERTY -
2542 - 2558 S. FEDERAL ST:
EXISTING MULTI-STORY CONCRETE BLDG.



VIEW LOOKING SOUTHEAST

SUBJECT PROPERTY -
2542 - 2558 S. FEDERAL ST:
EXISTING MULTI-STORY CONCRETE BLDG.

EXISTING 1-STORY
ADJACENT BUILDING - NOT
IN SCOPE



BIRDS EYE VIEW



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTH

EXISTING BUILDING

Public Process Timeline

Ward 3 - Alderman Pat Dowell

April 19	Meeting with Alderman
July 7	PD Filing
July 20	PD Introduction
September 12	Meeting w/ Near South Planning Board



PROPOSED IMPROVEMENT

★ Public Process Timeline

- Reduced height of the addition
- Provided setback of addition from east facade
- Revised landscaping for compliance w/ the Landscape Ordinance

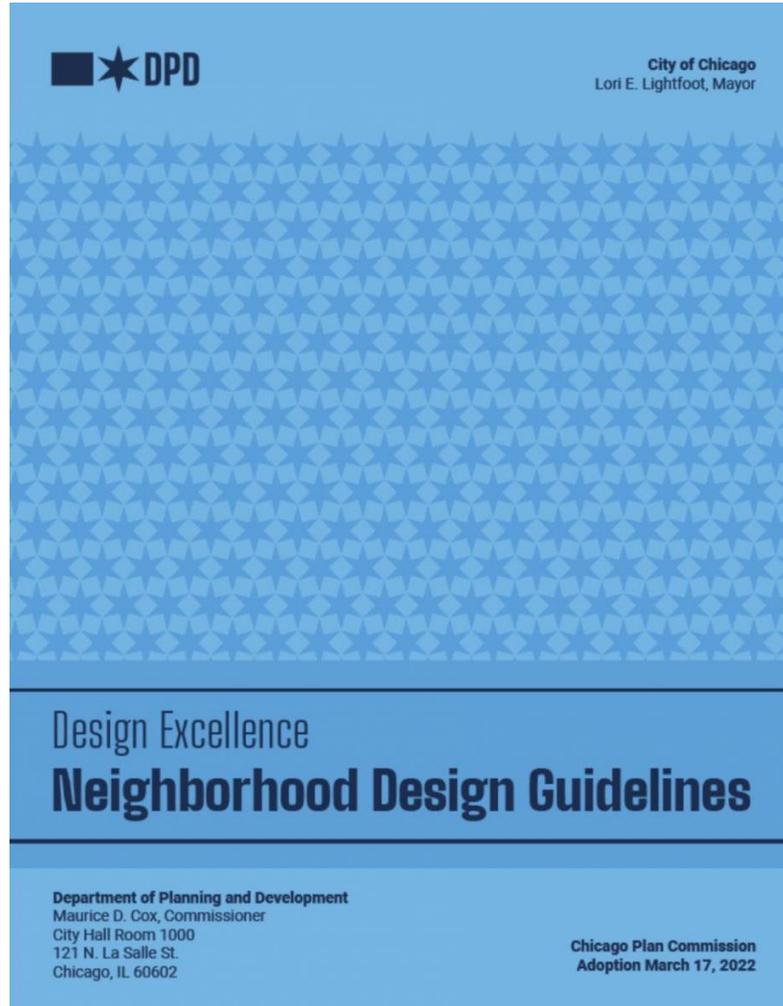
AFTER



BEFORE



Planning Context



Neighborhood Design Guidelines

City of Chicago Department of Planning
& Development, March 2022



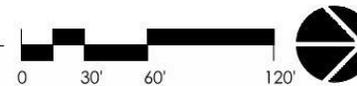
ZONING DATA

SEE ZONING CODE ANALYSIS SUMMARY.



BLDG. AREA SUMMARY		
SPACE NAME	AREA	QTY.
1ST FLOOR		
AMENITY SPACE	959 SF	1
BIKE STORAGE	119 SF	1
DRIVE AISLE	4,626 SF	1
ELEC. RM	990 SF	1
ELEVATOR LOBBY	175 SF	1
EXT. WALL	691 SF	1
GYM	758 SF	1
HORIZONTAL CIRCULATION	1,148 SF	4
MAIL ROOM	101 SF	1
MGMT. OFFICE	172 SF	1
PARKING	6,035 SF	1
RESTROOM	161 SF	2
RISER RM	83 SF	1
STORAGE	89 SF	1
SUPPORT	188 SF	1
TRASH RM	191 SF	1
VERTICAL CIRCULATION	756 SF	3
VESTIBULE	218 SF	1
	17,463 SF	24
2ND FLOOR		
1-BR	2,524 SF	3
2-BR	10,194 SF	10
ELEVATORS	283 SF	1
EXT. WALL	604 SF	1
HORIZONTAL CIRCULATION	1,283 SF	1
LAUNDRY	351 SF	1
TRASH RM	144 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	540 SF	2
	16,386 SF	22
3RD FLOOR		
1-BR	2,534 SF	3
2-BR	10,194 SF	10
ELEVATORS	283 SF	1
EXT. WALL	604 SF	1
HORIZONTAL CIRCULATION	1,283 SF	1
LAUNDRY	351 SF	1
TRASH RM	144 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	540 SF	2
	16,386 SF	22
4TH FLOOR		
1-BR	2,917 SF	4
2-BR	9,778 SF	8
ELEVATORS	283 SF	1
EXT. WALL	670 SF	1
HORIZONTAL CIRCULATION	1,212 SF	1
LAUNDRY	351 SF	1
TRASH RM	146 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	541 SF	2
	16,363 SF	21
5TH FLOOR		
1-BR	2,989 SF	4
2-BR	6,061 SF	5
AMENITY	1,620 SF	2
ELEVATORS	283 SF	1
EXT. WALL	452 SF	2
HORIZONTAL CIRCULATION	1,157 SF	1
LAUNDRY	345 SF	1
ROOF TERRACE	2,034 SF	2
SUPPORT	458 SF	2
TRASH RM	170 SF	1
VERTICAL CIRCULATION	497 SF	2
	16,245 SF	23
TOWER UNITS UPPER FLOOR		
1-BR	666 SF	2
EXT. WALL	134 SF	1
	800 SF	3
115	83,642 SF	115

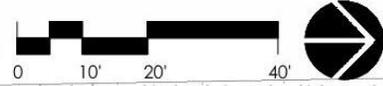
① SITE CONTEXT PLAN
1" = 60'-0"



SITE CONTEXT PLAN



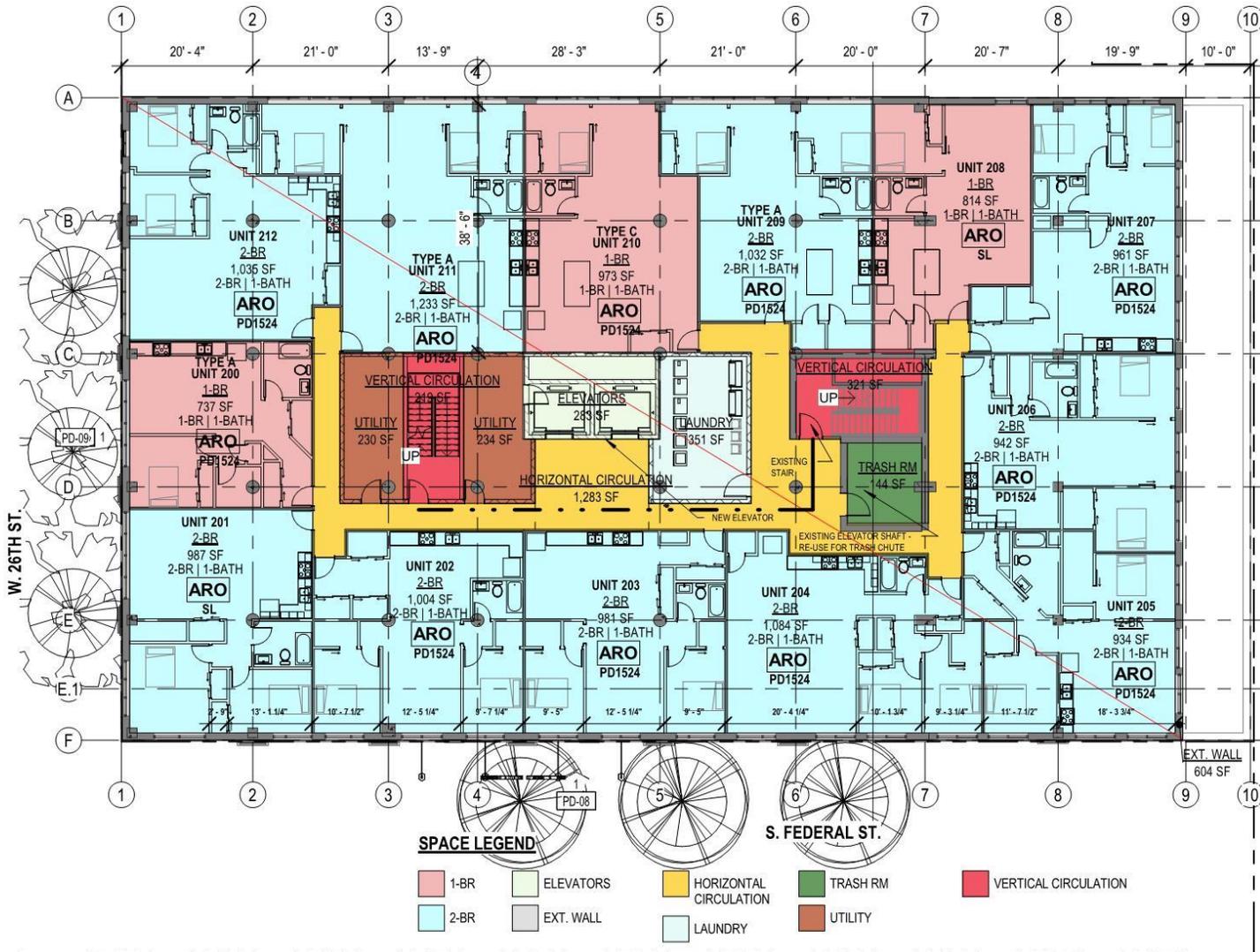
1 PROPOSED GROUND FLOOR PLAN
1" = 20'-0"



SPACE TYPE SUMMARY		
SPACE NAME	AREA	QTY.
1ST FLOOR		
AMENITY SPACE	959 SF	1
BIKE STORAGE	119 SF	1
DRIVE AISLE	4,468 SF	1
ELEC. RM.	990 SF	1
ELEVATOR LOBBY	175 SF	1
EXT. WALL	691 SF	1
GYM	758 SF	1
HORIZONTAL CIRCULATION	1,148 SF	4
MAIL ROOM	101 SF	1
MGMT. OFFICE	172 SF	1
PARKING	6,193 SF	1
RESTROOM	161 SF	2
RISER RM.	83 SF	1
STORAGE	89 SF	1
SUPPORT	188 SF	1
TRASH RM	191 SF	1
VERTICAL CIRCULATION	756 SF	3
VESTIBULE	218 SF	1
	17,463 SF	24
24	17,463 SF	24

UNIT COUNT SUMMARY	
SPACE NAME	QTY.
2ND FLOOR	
1-BR	3
2-BR	10
	13
3RD FLOOR	
1-BR	3
2-BR	10
	13
4TH FLOOR	
1-BR	4
2-BR	8
	12
5TH FLOOR	
1-BR	4
2-BR	5
	9
47	47

SITE & GROUND FLOOR PLAN

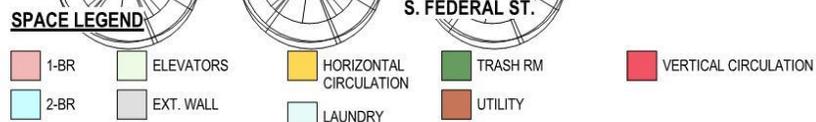


SPACE TYPE SUMMARY		
SPACE NAME	AREA	QTY.
2ND FLOOR		
1-BR	2,524 SF	3
2-BR	10,194 SF	10
ELEVATORS	283 SF	1
EXT. WALL	604 SF	1
HORIZONTAL CIRCULATION	1,283 SF	1
LAUNDRY	351 SF	1
TRASH RM	144 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	540 SF	2
	16,386 SF	22
	16,386 SF	22

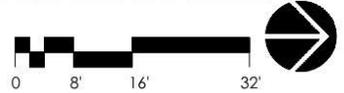
GENERAL NOTES
 1. U.N.O., ALL UNITS ARE TYPE B UNITS.

(e) In multiple dwellings, one exit shall be permitted to a public corridor from a dwelling unit when the travel distance to the most remote door within the unit does not exceed 40 feet and 60 feet from the most remote point of the dwelling unit. Two corridor exit doors are required when these distances are exceeded.

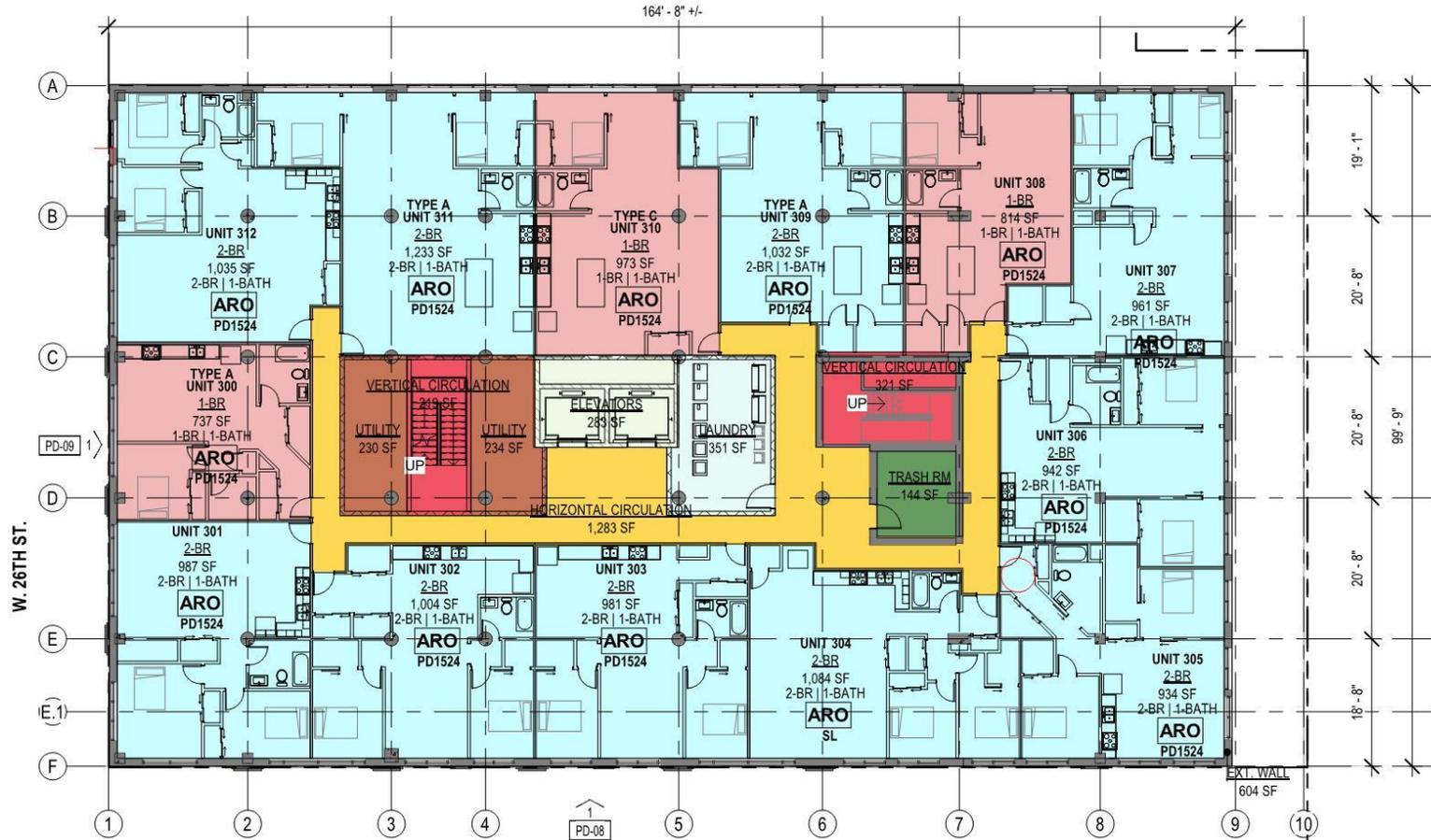
EGRESS CALCULATIONS			
PROVIDED DISTANCE	DIAGONAL LENGTH OF AREA SERVED	BLDG SPRINKLERED ?	CODE REQ. MIN. EXIT SEPARATION
72' - 0"	192' - 0"	Yes	64' - 0"
72' - 0"			



1 2ND FLOOR
 1/16" = 1'-0"



LEVEL 2 FLOOR PLAN



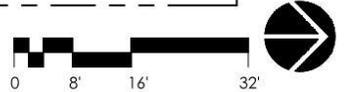
SPACE TYPE SUMMARY		
SPACE NAME	AREA	QTY.
3RD FLOOR		
1-BR	2,524 SF	3
2-BR	10,194 SF	10
ELEVATORS	283 SF	1
EXT. WALL	604 SF	1
HORIZONTAL CIRCULATION	1,283 SF	1
LAUNDRY	351 SF	1
TRASH RM	144 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	540 SF	2
	16,386 SF	22
22	16,386 SF	22

GENERAL NOTES
 1. U.NO., ALL UNITS ARE TYPE B UNITS.

SPACE LEGEND

- 1-BR
- ELEVATORS
- HORIZONTAL CIRCULATION
- TRASH RM
- VERTICAL CIRCULATION
- 2-BR
- EXT. WALL
- LAUNDRY
- UTILITY

1 3RD FLOOR
 1/16" = 1'-0"



LEVEL 3 FLOOR PLAN



SPACE TYPE SUMMARY		
SPACE NAME	AREA	QTY.
4TH FLOOR		
1-BR	2,917 SF	4
2-BR	9,778 SF	8
ELEVATORS	283 SF	1
EXT. WALL	670 SF	1
HORIZONTAL CIRCULATION	1,212 SF	1
LAUNDRY	351 SF	1
TRASH RM	146 SF	1
UTILITY	464 SF	2
VERTICAL CIRCULATION	541 SF	2
	16,363 SF	21
21	16,363 SF	21

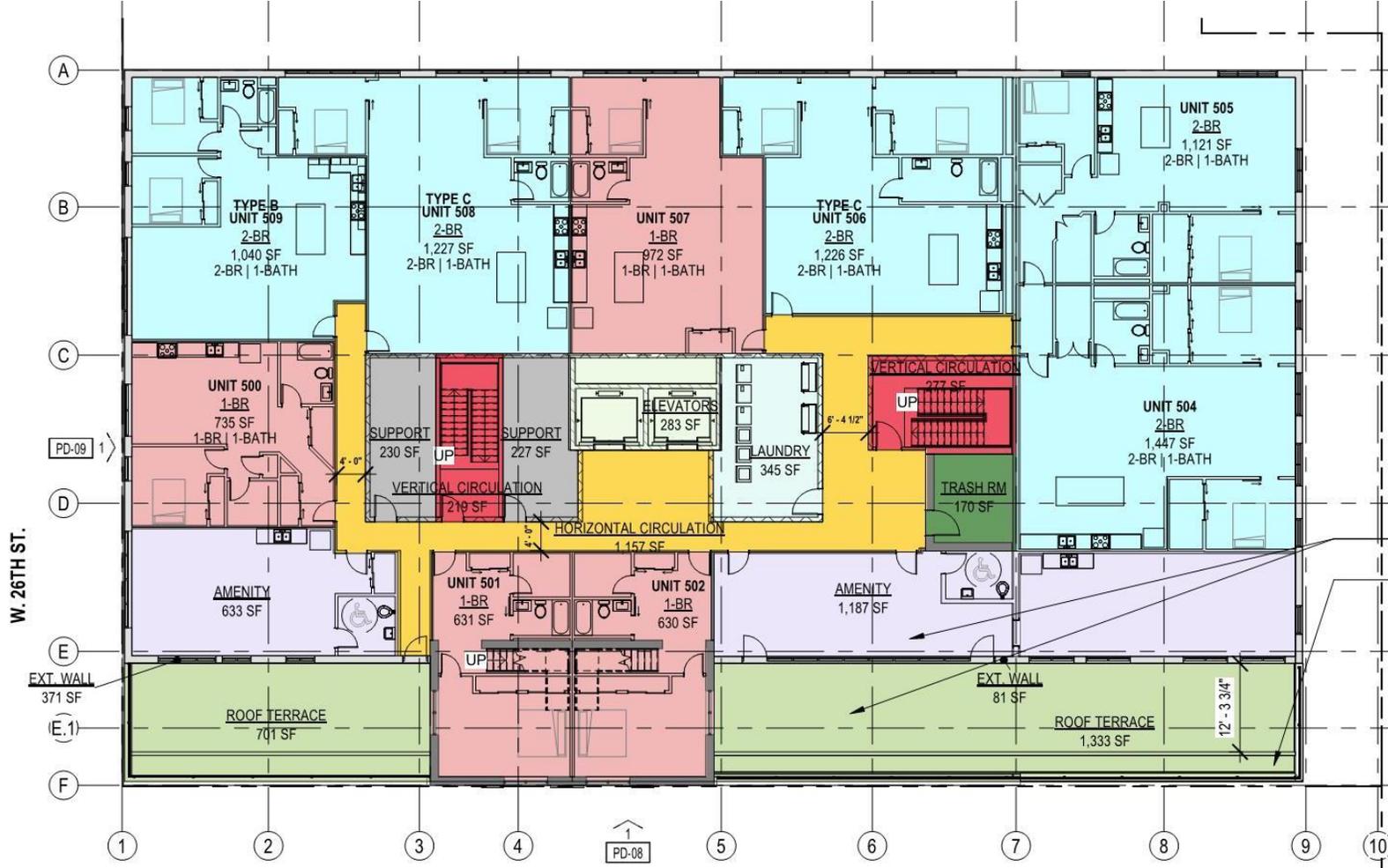
GENERAL NOTES
 1. U.NO., ALL UNITS ARE TYPE B UNITS.

SPACE LEGEND



① **4TH FLOOR**
 1/16" = 1'-0"

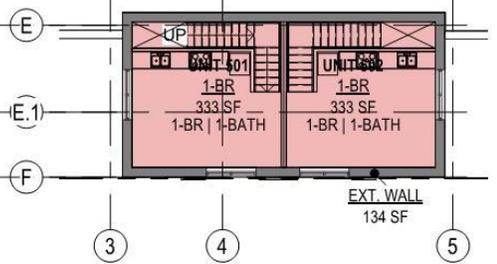




SPACE TYPE SUMMARY		
SPACE NAME	AREA	QTY.
5TH FLOOR		
1-BR	2,969 SF	4
2-BR	6,061 SF	5
AMENITY	1,820 SF	2
ELEVATORS	283 SF	1
EXT. WALL	452 SF	2
HORIZONTAL CIRCULATION	1,157 SF	1
LAUNDRY	345 SF	1
ROOF TERRACE	2,034 SF	2
SUPPORT	458 SF	2
TRASH RM	170 SF	1
VERTICAL CIRCULATION	497 SF	2
	16,245 SF	23
23	16,245 SF	23

GENERAL NOTES
 1. U.N.O., ALL UNITS ARE TYPE B UNITS.

INDOOR / OUTDOOR AMENITY SPACE
 PLANTER BOX AT PERIMETER

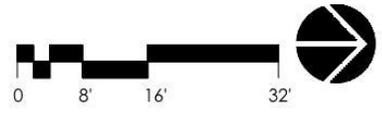


2 UPPER FLOOR - UNITS 501 & 502
 1/16" = 1'-0"

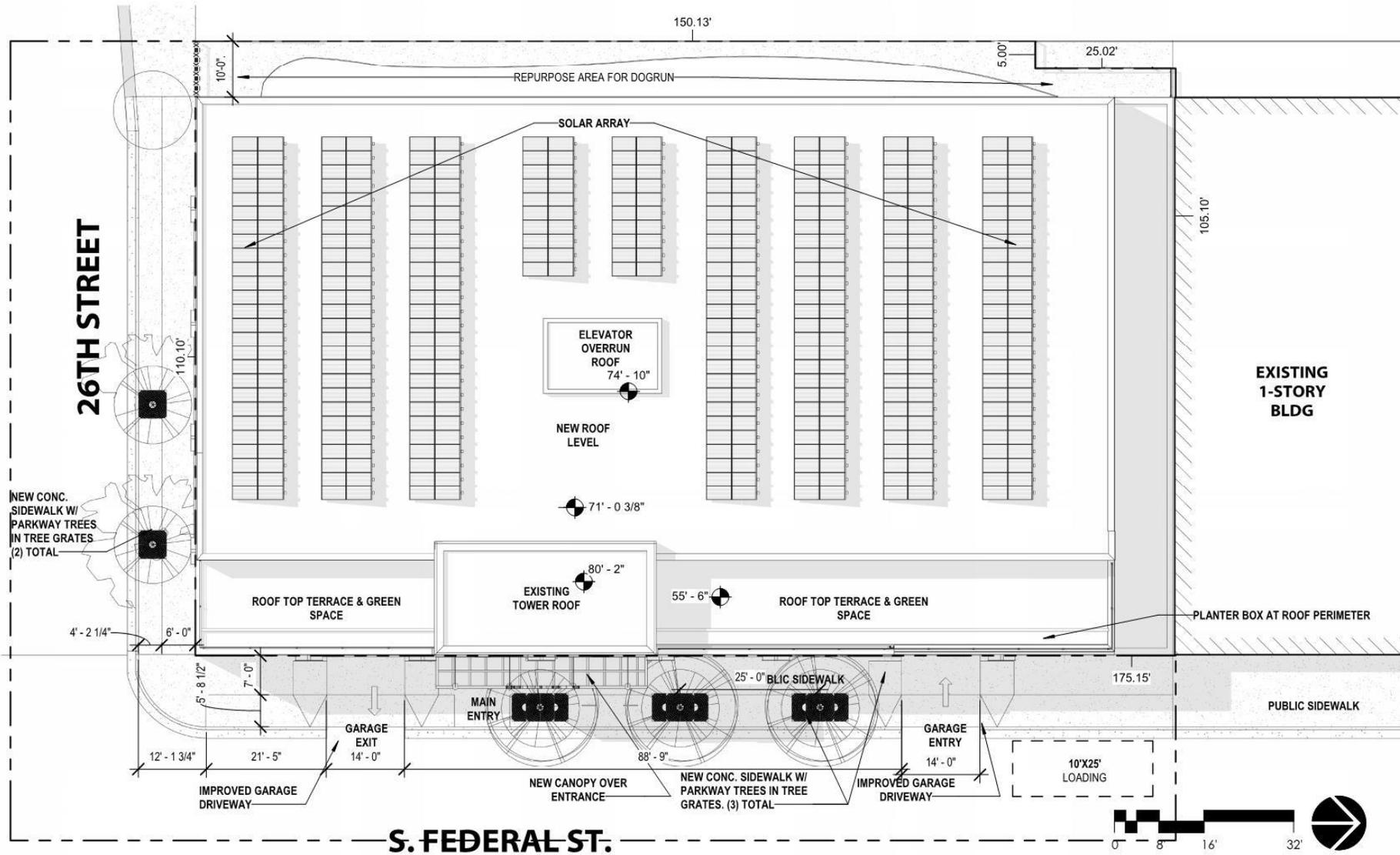
SPACE LEGEND

- 1-BR
- AMENITY
- EXT. WALL
- LAUNDRY
- SUPPORT
- VERTICAL CIRCULATION
- 2-BR
- ELEVATORS
- HORIZONTAL CIRCULATION
- ROOF TERRACE
- TRASH RM

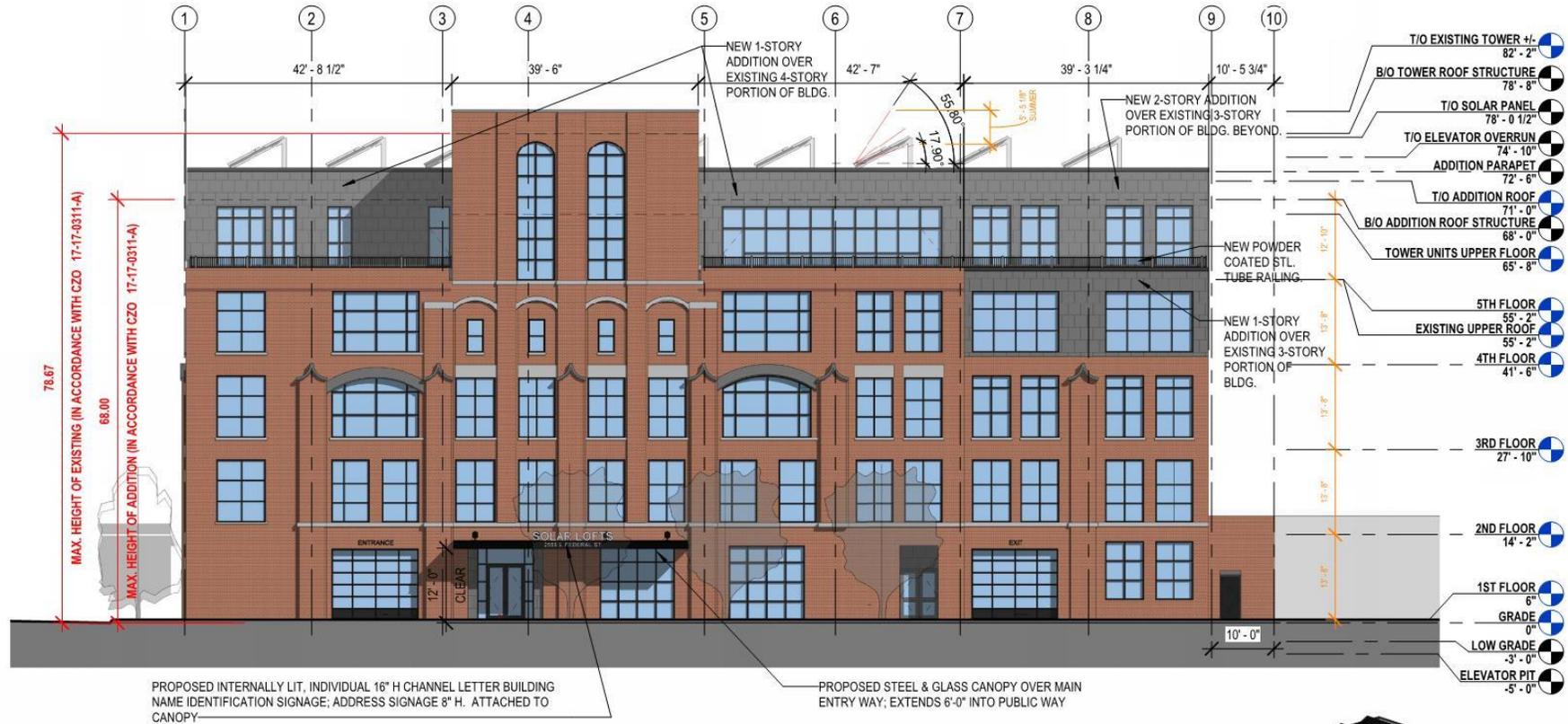
1 5TH FLOOR
 1/16" = 1'-0"



LEVEL 5 FLOOR PLAN



ROOF PLAN



1 EAST ELEVATION

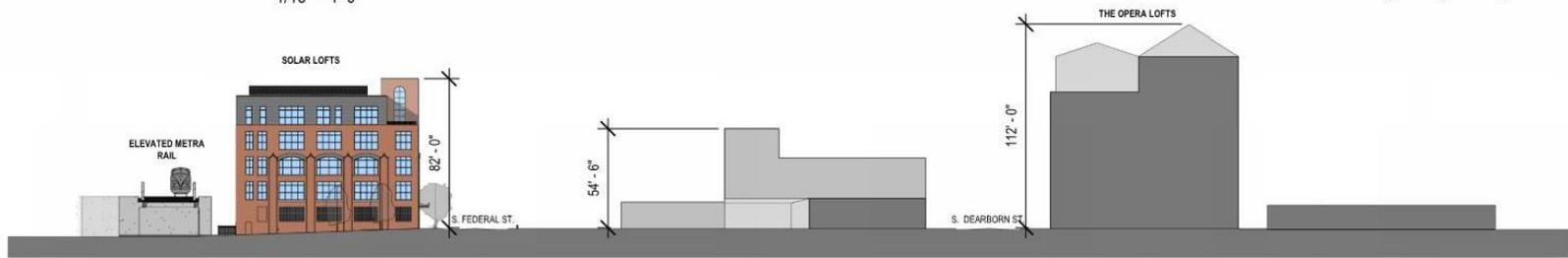
1/16" = 1'-0"



MATERIALS LEGEND

ELEVATION	MATERIAL NAME
	ZINC METAL PANELS
	EXISTING BRICK MASONRY





BUILDING ELEVATION & SITE SECTION - SOUTH



1 NORTH ELEVATION
1/16" = 1'-0"

MATERIALS LEGEND

ELEVATION	MATERIAL NAME
	ZINC METAL PANELS
	EXISTING BRICK MASONRY

BUILDING ELEVATION - NORTH



① WEST ELEVATION
1/16" = 1'-0"



MATERIALS LEGEND

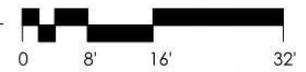
ELEVATION	MATERIAL NAME
	ZINC METAL PANELS
	EXISTING BRICK MASONRY



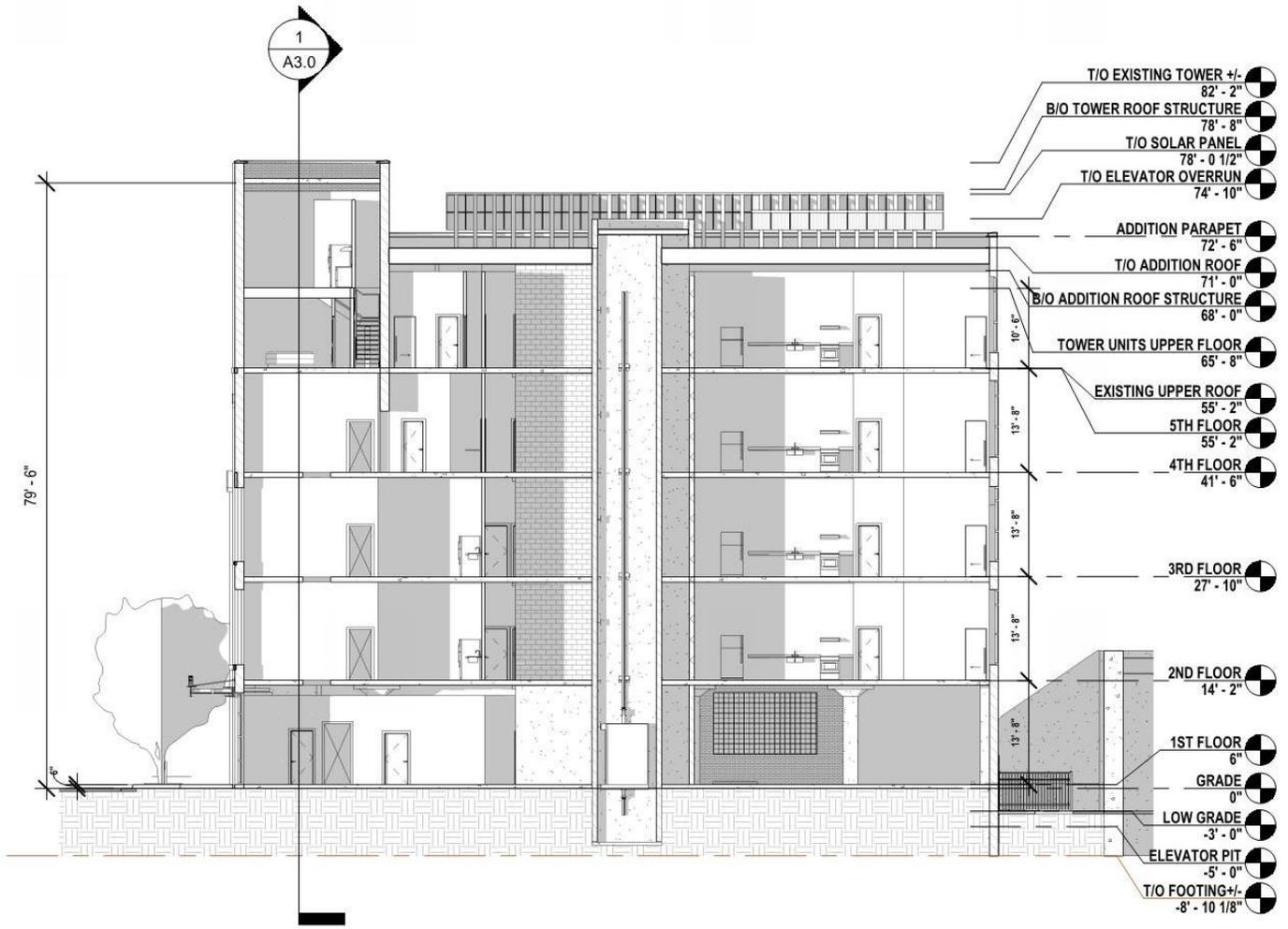
BUILDING ELEVATION - WEST



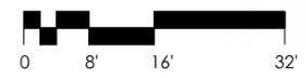
1 N-S SECTION
1/16" = 1'-0"



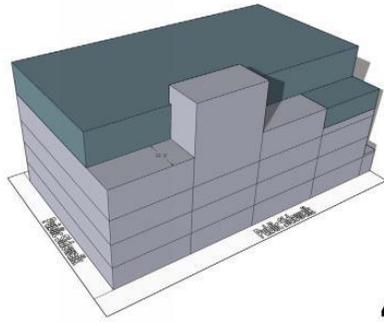
BUILDING SECTION – NORTH / SOUTH



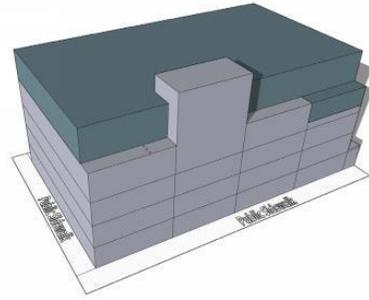
① E-W SECTION
1/16" = 1'-0"



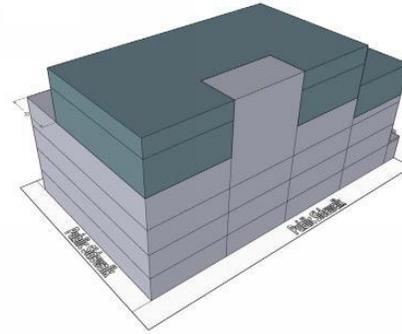
BUILDING SECTION – EAST / WEST



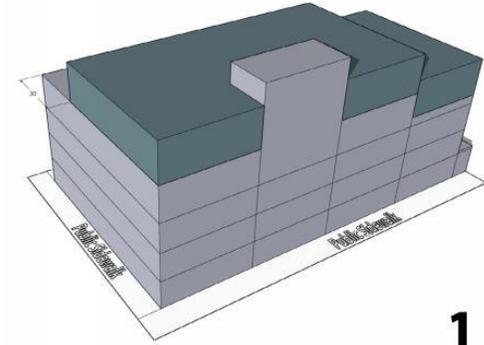
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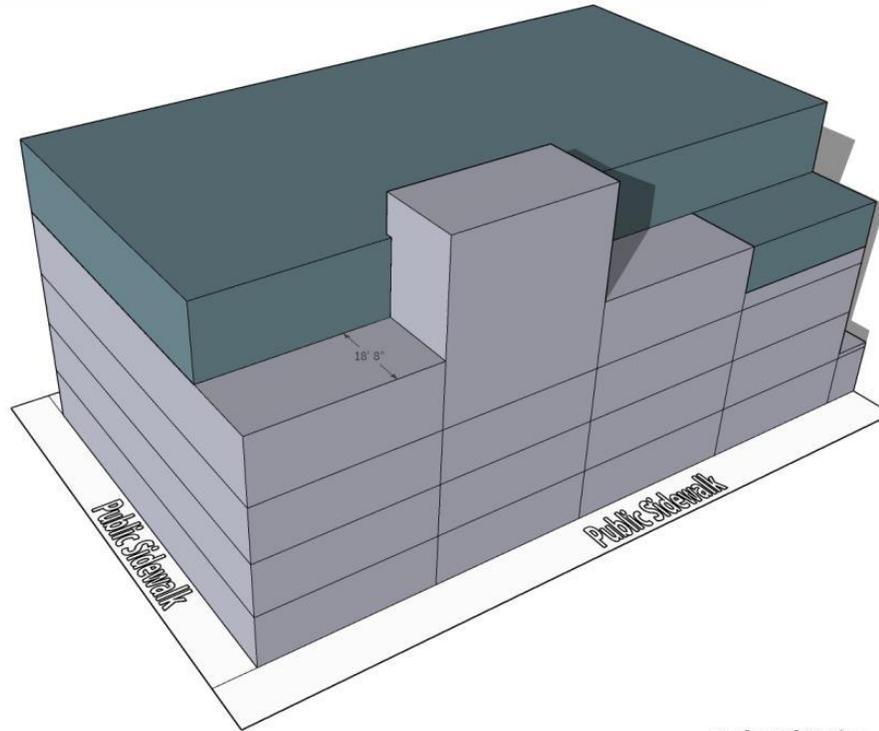
3



2



1



Preferred Option 4

Characteristics:

Single story with 18'-0" + setback along east facade allows existing tower element to remain prominent.

Provides opportunity to create roof top amenity space adjacent to tower.

Deeper single story provides more roof top area for proposed solar array than options 1 & 2.

Legend



Existing Building



Proposed Addition



RENDERING



RENDERING



RENDERING

17-8-0904

- 1. Promote the safe and efficient circulation of pedestrians, cyclists and motor vehicles.
- 2. Ensure accessibility for persons with disabilities;
- 3. Promote transit, pedestrian and bicycle use;
- 4. Bicycle parking facilities should be easily accessible and secure.
- 5. Driveways to parking areas should be minimal where possible and located and designed to maximize pedestrian safety and comfort.



TRANSPORTATION, TRAFFIC, AND PARKING



17-8-0905-B

1. Buildings should be located abutting the sidewalk with doors, windows and active uses adjacent to it.
2. Primary pedestrian entrances should be located at sidewalk level. These entrances should be obvious to pedestrians by forming a significant focal element of the building, and such features should help provide building identity and presence on the *street*.
3. Active uses such as retail or residential, as appropriate, should be employed to screen parking garages from view and to ensure active uses at sidewalk level.





17-8-0909-B Design

1. Open spaces should be located to ensure maximum exposure to sunlight.
2. In addition to providing a visual amenity to the *street*, open space should be designed to **allow public gathering space and activity**.

17-8-0909-C Residential Development

Large residential developments should include on-site amenities, such as **common open space, recreational facilities, dog runs/exercise areas and health/fitness facilities**.





17-8-0907-C HIGH RISE BUILDINGS:

1. Buildings should have a clearly defined vertical appearance, comprised of a base, midsection, and top.
2. The bases and upper stories of high-rise buildings should be in the same vertical plane along all building façades fronting public streets, except as otherwise provided for in the following subsection 3.
3. Upper-story setbacks should be used to reduce the apparent mass and bulk of tall buildings. Such setbacks should convey a sense of sculpting to the tower and the top floors of the building. Setbacks should be at least 10 feet in depth.

18.0'+ setback from existing building edge along Federal Street





EXISTING MASONRY



Option 1: Proposed Flat Lock Metal Panels



Option 2: Proposed Fiber Cement Panels



Proposed Cladding at Entry



METAL PANEL CLADDING EXAMPLES



ADAPTIVE REUSE EXAMPLE



ROOF TERRACE EXAMPLES

BUILDING MATERIALS



Development *NOT* anticipated to be a regulated development as defined by the 2016 Stormwater Manual.

- At grade, reconstructed or resurfaced area at exterior of building: 7,244 SF
- SF area of new roofs for vertical building additions: 13,580 SF

Table 1-1: Performance Standards Applicability

Developments Discharging to Combined Sewers					
Proposed Activity	Regulated under Stormwater Management Ordinance	Rate Control	Volume Control		
		Required	Required ¹	Options Available	
				Storage	Reduce Imperv. by 15%
Residential Development ⁵	No	-	-	-	-
Creates, reconstructs or resurfaces at-grade impervious area of less than 7,500 SF	No	-	-	-	-
Creates, reconstructs or resurfaces at-grade impervious area of 7,500 SF or more	✓	✓	✓ ³	✓	✓
Disturbs land areas of 15,000 SF or more	✓	✓	✓ ³	✓	✓
New roof for vertical building addition (plus sidewall and additional DWF) equivalent to 15,000 SF or more	✓	✓ ²	No	-	-



Compliance Options	Points Required	Sustainable Strategies Menu																																				
		Health	Energy						Stormwater					Landscapes			Green Roofs		Water		Transportation							Solid Waste	Work Force	Wildlife								
Compliance Paths	Starting Points	Number of Optional Points Required New Construction / Substantial Rehab / Moderate Rehab	1.1 Achieve WELL Building Standard	2.1 Designed to earn the Energy Star	2.2 Exceed Energy Code (5%)	2.3 Exceed Energy Code (10%)	2.4 Exceed Energy Code (25%)	2.5 Exceed Energy Code (40%)	2.6 Onsite Renewable Energy (3%)	2.7 Onsite Renewable Energy (5%)	3.1 Exceed Stormwater Ordinance by 25%	3.2 Exceed Stormwater Ordinance by 50%	3.3 100% Stormwater Infiltration	3.4 Sump Pump Capture & Reuse	3.5 100-year detention for lot-to-lot buildings	3.6 100-year Detention for Bypass	4.1 Working Landscapes	4.2 Natural Landscapes	4.3 Tree Planting	4.4 Achieve Sustainable Sites Certification	5.1 Green Roof 50-100%	5.2 Green Roof 100%	6.1 Indoor Water Use Reduction (25%)	6.2 Indoor Water Use Reduction (40%)	7.1 Proximity to Transit Service	7.2 Bikeshare Sponsorship	7.3 Bike Parking Residential	7.4 Bike Parking Commercial & Industrial	7.5 EV Charging Stations	7.6 EV Charger Readiness	7.7 CTA Digital Displays	8.1 80% Waste Diversion	8.2 Workforce Development	9.1 Bird Protection (Basic)	9.2 Bird Protection (Enhanced)			
Options Without Certification																																						
All Options Available	0	100 / 50 / 25	40	30	20	30	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	5	5	5	10	10	5	10	
Options With Certification																																						
LEED Platinum	95	5 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	5	10	10	5	10		
LEED Gold	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10			
LEED Silver	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	NA	5	5	5	5	20	10	20	NA	20	NA	5	NA	NA	10	5	5	10	10	5	10			
Green Globes 4-Globes	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10			
Green Globes 3-Globes	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10			
Green Globes 2-Globes	70	30 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10			
Living Building Challenge	100	0 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	NA	NA	NA	NA	NA	NA	NA	NA	10	5	NA	NA	10	5	10			
Living Building Challenge Petal	90	10 / 0 / 0	40	NA	20	30	40	50	NA	NA	10	20	40	5	5	5	5	NA	5	20	10	20	10	20	NA	5	NA	NA	10	5	5	10	10	5	10			
Enterprise Green Communities*	80	20 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	NA	NA	10	5	5	10	10	5	10			
PassiveHouse	70	30 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	10	10	10	5	10			

*only available to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PD) - New Construction	100 points required
TIF Funded Development Projects (TIF) - New Construction*	100 points required
DPD Housing, Multi-family (>5 units) Projects (DPD-H MF) - New Construction	100 points required
PD, TIF, DPD-H MF and Class L - Renovation Projects*	
Moderate Renovation Projects	25 points required
Substantial Renovation Projects	50 points required

*does not apply to TIF assistance of less than \$1M (including but not limited to TIF-NIP, TIF Purchase Rehab, Streamlined TIF and SBIF programs)

Moderate Renovation Projects = projects including partial or minor upgrades to building systems and minor repairs to the exterior envelope
 Substantial Renovation Projects = projects including new and/or upgraded building systems and extensive repairs to the exterior envelope



Four (4) ARO Units Provided at this location for the Solar Lofts Development

Design will meet requirements of the Ordinance.



**AFFORDABLE
REQUIREMENTS ORDINANCE**

RULES

Updated October 1, 2021



City of Chicago
Mayor Lori E. Lightfoot

Department of Housing
Commissioner Marisa Novara



Solar Lofts will drive innovation and set the standards for future developments.

Features / Benefits Include:

- **All Electric Development**
- **Onsite Energy Generation (Solar)**
- **EV Charging stations for residents**

Developer Participation Goals:

Minority Business Enterprises: 30%





DPD Recommendations (staff to complete)

❖ XXX