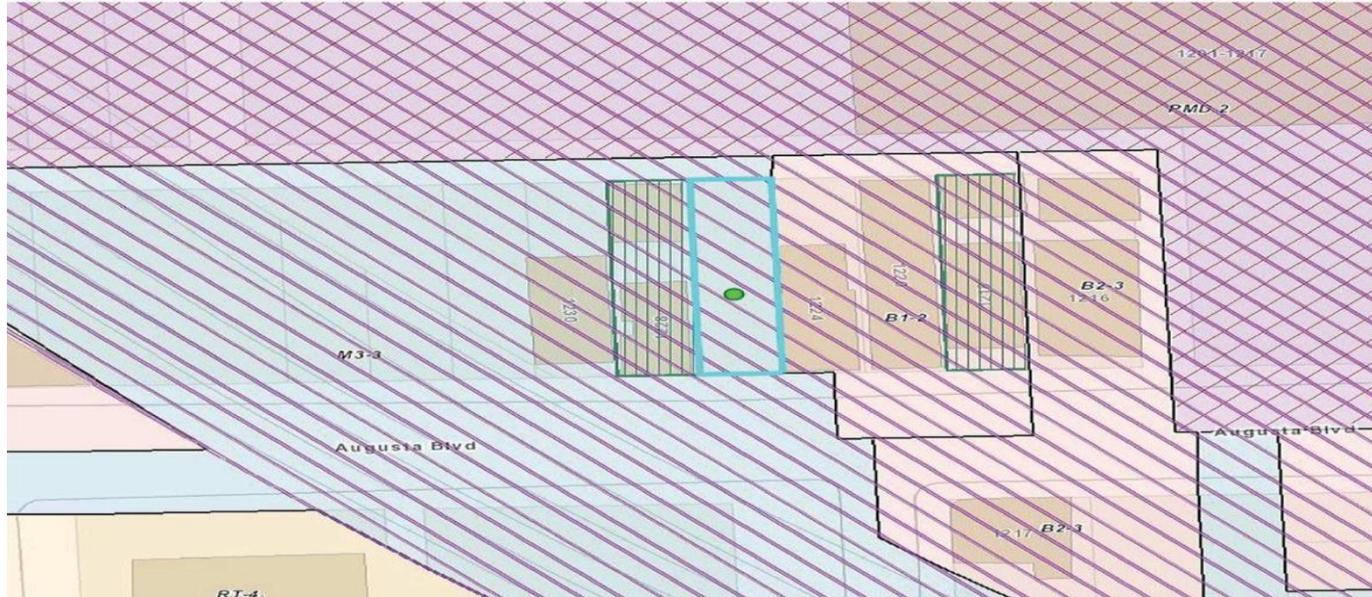


1226 W. Augusta Blvd.

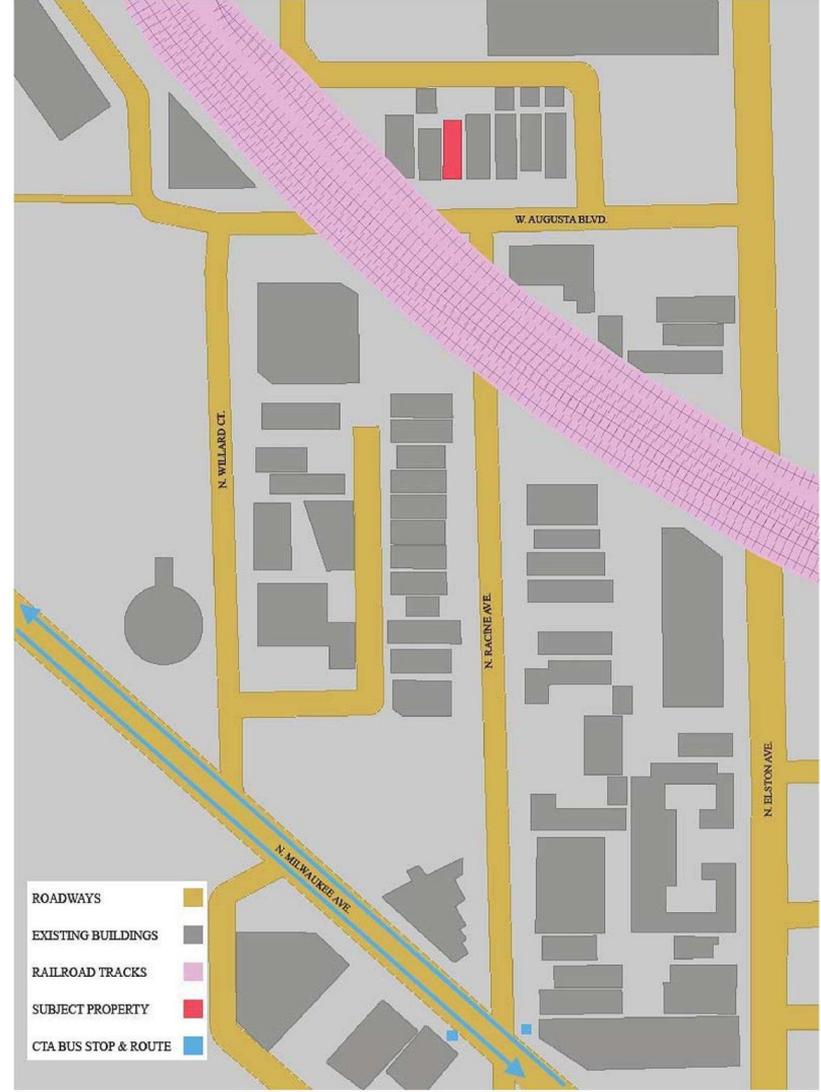


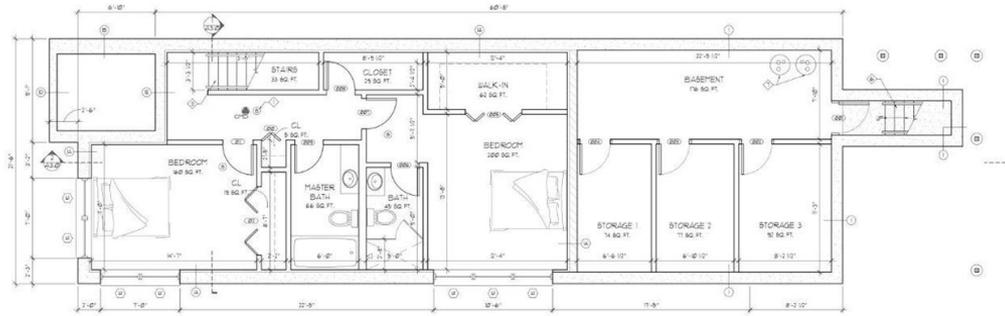
Reason for PD: Mandatory for the type 1 zoning change application from M3-3 to B2-3 in order to use the subject property for the construction of a new 4,298 square foot, 3 story, 3 unit residential building. This project is in the North Branch Industrial Corridor, requiring us to obtain approval from the Planning Department.

Planned Development (PD) Zoning Code Analysis

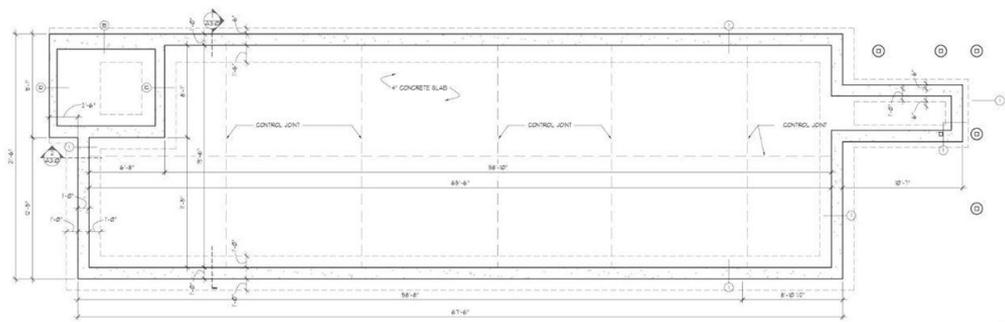
Primary Project Address: 1226 W. Augusta Blvd., Chicago, IL, 60642		Date: 9/19/2022	
Applicant Name and Firm: Maria Ricotta, ChiSai Properties LLC			
Attorney Name and Firm: Louis Weinstock, Louis Weinstock Law			
PD Threshold: NA		x Mandatory <input type="checkbox"/> Elective	
Ward:	27	Planning Region:	Central
Est'd Project Cost:	600,000	Est'd Perm/Const Jobs:	09/2023

	Existing Zoning / Existing Conditions	Proposed Zoning / Code Requirement	Proposed Project	Waiver Req? (Y/N)
Zoning District	M3-3	B2-3, new 3 story, 3 unit residential building		N
Net Site Area	2,500 sf	2,500 sf		N
Uses (include all proposed)	Vacant Lot	B2-3, new 3 story, 3 unit residential building		N
Residential Units (total)	0	6 max	3	N
• Efficiencies (# & %)	0	0	0	N
• One-Bedroom (# & %)	0	0	2 & 66%	N
• Two-Bedroom (# & %)	0	0	1 & 33%	N
• Three-Bedroom (# & %)	0	0	0	N
Minimum Lot Area/Unit	NA	400	833.34	N
ARO Units	0	0	0	N
Retail Square Feet	0	0	0	N
Office Square Feet	0	0	0	N
Accessory Parking	0	2	2	N
Non-Accessory Parking	0	0	0	N
Bicycle Parking	0	0	0	N
Loading Berths (# & size)	0	0	0	N
TSL Elements	0	0		N
Maximum Base FAR	3.0	3.0	1.72	N
NOF Bonus FAR	0	0	0	N
Front Setback	0	0	2'-6"	N
Side Setback(s)	0	0	3'(E) 6'(W)	N
Rear Setback	0	30'	30'	N
Height	0	50'	35'-5 1/2"	N



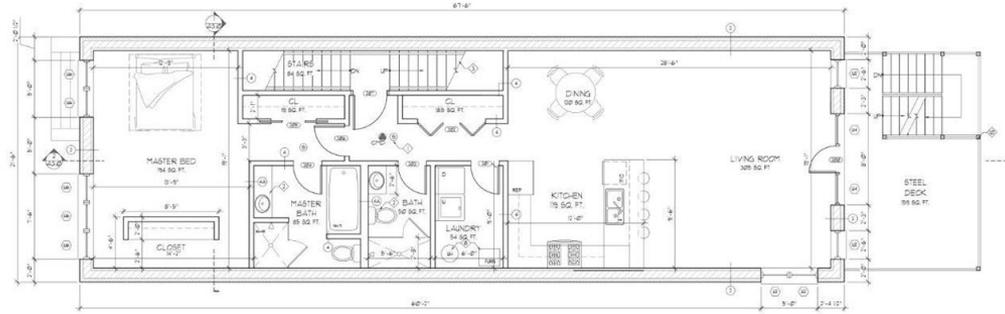


2
A1.0
1/4"=1'-0"
BASEMENT FLOOR PLAN

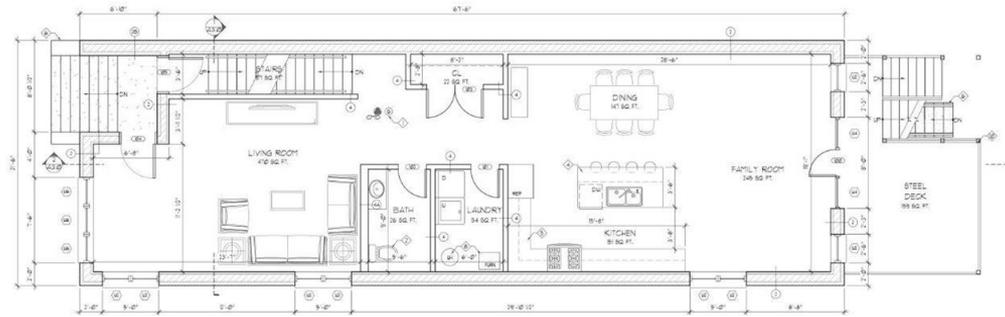


1
A1.0
1/4"=1'-0"
FOUNDATION PLAN

ARCHITECTURAL NOTES		WALL TYPE LEGEND	
<ul style="list-style-type: none"> 1 ALL BRONZE DETECTORS TO BE NEW, CONNECTED & HARDWIRED TO THE EXISTING BUDGET TYP. 2 NEW CEMENTER BUILT LUGS STAINS & 2" MIN. CLEARANCE AT THE KITCHEN 1" MIN. THICK 3/4" HIGH HANDRAILS 3 PROVIDE NEW KITCHEN ISLAND 4 PROVIDE NEW KITCHEN CABINETS AND APPLIANCES BY OWNER 5 NEW CONCRETE EXTENSION STAIR 6 EJECTOR AND SUPP PUMP LOCATED AT BASEMENT LEVEL. 7 NEW WATER HEATER AND PURFAGE TO BE PROVIDED FOR GULLERY/SLAT. 8 NEW CONDENSERS TO BE LOCATED AT ROOF ACCESSING 4TH FLOOR. 9 NEW 3 STORY EXTERIOR STEEL POORH-NIE SHEET JOIST 	<ul style="list-style-type: none"> 1 8" POURED IN PLACE CONCRETE FOUNDATION WALL 2 8" POURED IN PLACE CONCRETE FOUNDATION WITH FURNING STRIPS AND 8" DETAIL 3 8" POURED IN PLACE CONCRETE FOUNDATION FOR EXTERIOR WALL AT FIRST FLOOR 4 8" CONCRETE FOUNDATION WALL FOR EXTERIOR FRONT STAIR 	<ul style="list-style-type: none"> 1 NEW EXTERIOR MASONRY WALL WITH 3" FACE BRICK 7" AIR SPACE 8" CMU 7" AIR SPACE AND 3" FACE BRICK 2 NEW 1/2" CLOSED CELL FIBER INSULATION AND NEW 8" CMU WITH 7" FURNING AND 8-8" 8" STY. BS. 3 3" FACE BRICK 7" AIR SPACE 8" CMU 7" AIR SPACE AND 3" FACE BRICK 4 12" MASONRY WALL WITH 3" FACE BRICK AND 8" CMU 5 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 6 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 7 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 8 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 9 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 	<ul style="list-style-type: none"> 1 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 2 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 3 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 4 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 5 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 6 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 7 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 8 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE 9 1/2" NON-LOAD BEARING PARTITION WALL WITH 3/8" FIBER GLASS INS. @ 1" ON-THE-EDGE



2 SECOND FLOOR PLAN
 1/4"=1'-0"



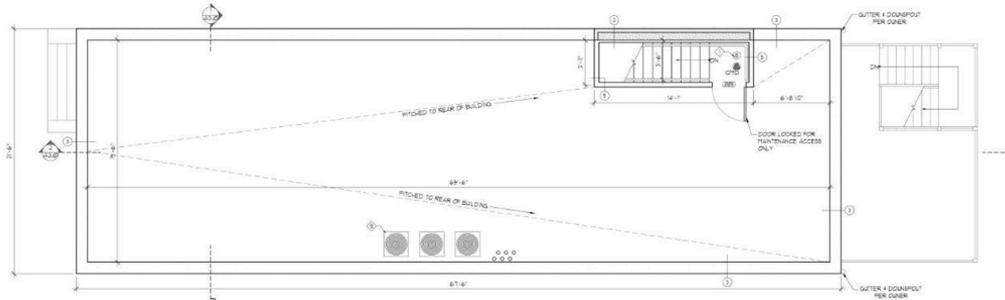
1 FIRST FLOOR PLAN
 1/4"=1'-0"

ARCHITECTURAL NOTES

- ① ALL SPLODE CONNECTIONS TO BE NON-CONNECTED + W/ANCHORS 1/4" DIA. BUTTER BOLTS 1/4" DIA.
- ② NEW CONCRETE EXTENSION STAIR
- ③ NEW CABINETRY BUILT UPON STAIRS 3'-0" MIN CLEARANCE 8" TO 8'6" MIN 1/4" THICK 3/4" HIGH HANDRAILS
- ④ PROVIDE NEW KITCHEN CABINETRY AND APPLIANCES BY OWNER
- ⑤ EJECTOR AND SUMP PUMP LOCATED AT BASEMENT LEVEL
- ⑥ NEW WATER HEATER AND PURCHASE TO BE PROVIDED PER SCHEDULE 10.1
- ⑦ NEW CONDENSERS TO BE LOCATED AT ROOF ACCESSIBLE LOCATIONS
- ⑧ NEW 3' X 6' EXTENSION STEEL PORCH- SEE SHEET 102

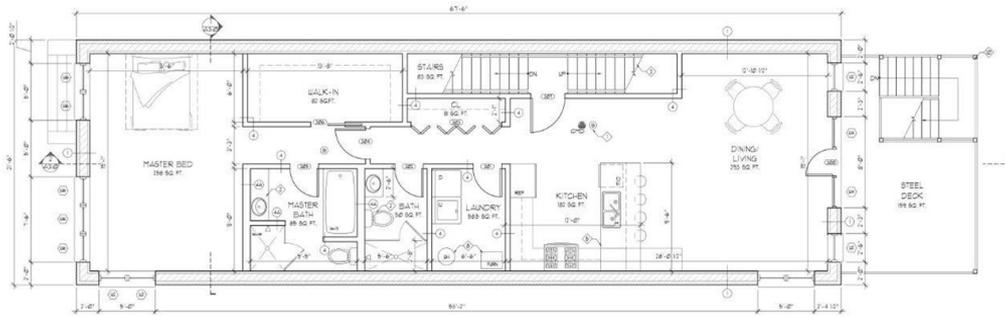
WALL TYPE LEGEND

- ① 12" POURED IN PLACE CONCRETE FOUNDATION WALL
- ② 8" POURED IN PLACE CONCRETE FOUNDATION W/1/4" BURNING STRIPS AND 8" B' DETAIL
- ③ 8" POURED IN PLACE CONCRETE FOUNDATION FOR EXTERIOR UNO WALL AT FIRST FLOOR
- ④ 8" CONCRETE FOUNDATION WALL FOR EXTERIOR FRONT STAIR
- ⑤ NEW EXTENSION PLUMBING WALL 1/2" F' FACE BRICK 7" AIR SPACE @ 1/2" F' FACE BRICK AND 1/2" C' FACE BRICK
- ⑥ 1/2" F' FACE BRICK 7" AIR SPACE @ 1/2" F' FACE BRICK AND 1/2" C' FACE BRICK
- ⑦ 1/2" MAJOR WALL W/1/4" F' FACE BRICK AND 8" C' F'
- ⑧ 1/2" NON-LOAD BEARING PARTITION WALL @ 3/8" F' F' FACE BRICK AND 1/2" C' ONE (1) LAYER OF 5/8" F' F' FACE RATED 5/15' RC RISE
- ⑨ NEW 1/2" NON-LOAD BEARING PLUMBING WALL @ 3/8" F' F' FACE BRICK AND 1/2" C' ONE LAYER OF 5/8" F' F' FACE RATED 5/15' RC RISE
- ⑩ EXTERIOR NON-LOAD BEARING PARTITION WALL @ 3/8" F' F' FACE BRICK AND 1/2" C' ONE (1) LAYER OF 5/8" F' F' FACE RATED 5/15' RC AT INTERIOR FACE AND F' F' FACE RATED EXTERIOR 5/15' RC



2
A1.2 1/4"=1'-0"

ROOF PLAN



1
A1.2 1/4"=1'-0"

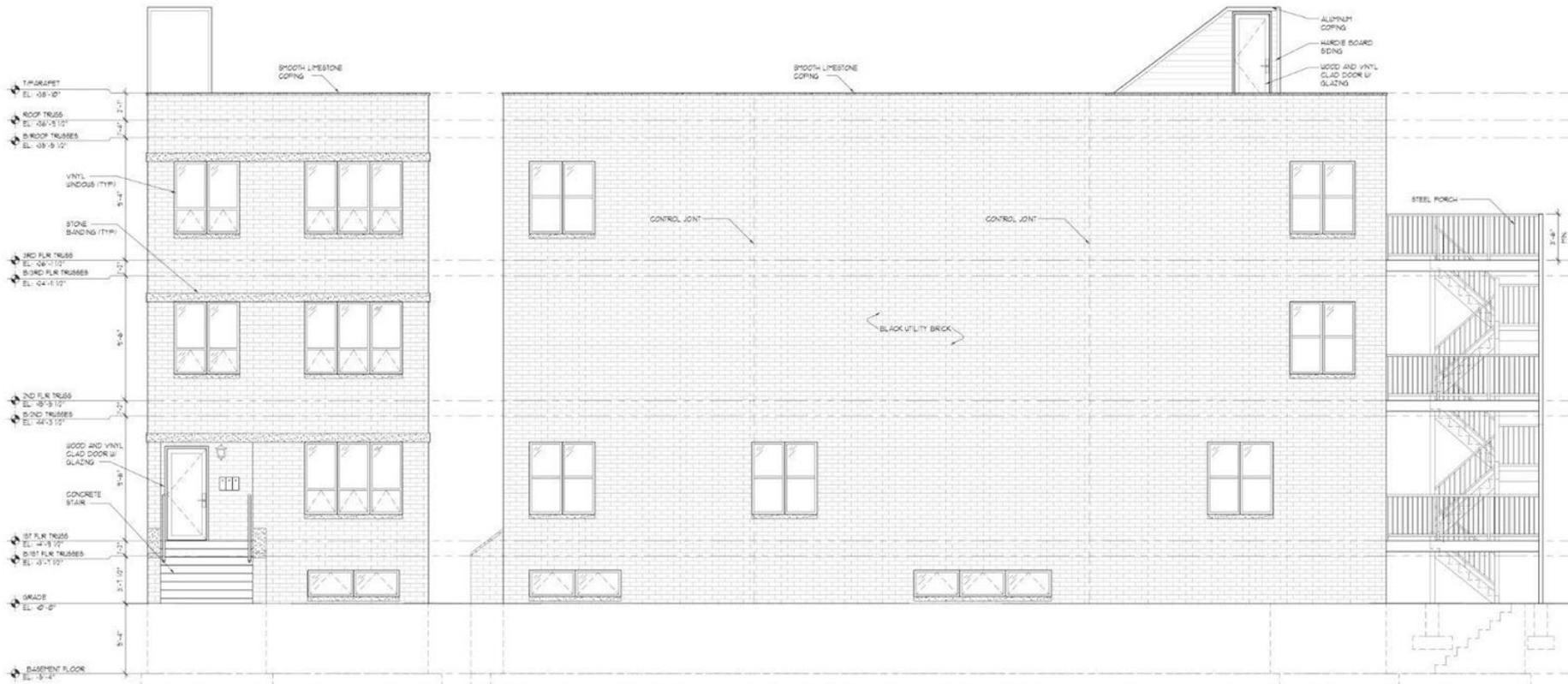
THIRD FLOOR PLAN

ARCHITECTURAL NOTES

- ① ALL BRONE DETECTORS TO BE INTER-CONNECTED & WIRELESS UPN BATTERY BACKUP TYP.
- ② BATHROOM FINISHES AND FIXTURES BY OWNER.
- ③ NEW CARPENTER BUILT LOGS STAIRS 2'-0" MIN. CLEARANCE @ 100% RISE BY 17% TRIGLES 36" HIGH HANDRAILS.
- ④ PROVIDE NEW KITCHEN ISLAND.
- ⑤ PROVIDE NEW KITCHEN CABINETS AND APPLIANCES BY OWNER.
- ⑥ NEW CONCRETE EXTERIOR STAIR.
- ⑦ EXISTOR AND SUPP PUMP LOCATED AT EXISTENCE LEVEL.
- ⑧ NEW WATER HEATER AND FURNACE TO BE PROVIDED PER CALLING OUT.
- ⑨ NEW CONDENSERS TO BE LOCATED AT ROOF ACCESSIBLE UPN LOCKER.
- ⑩ NEW 3 STORY EXTERIOR STEEL PORCH- SEE SHEET 021.

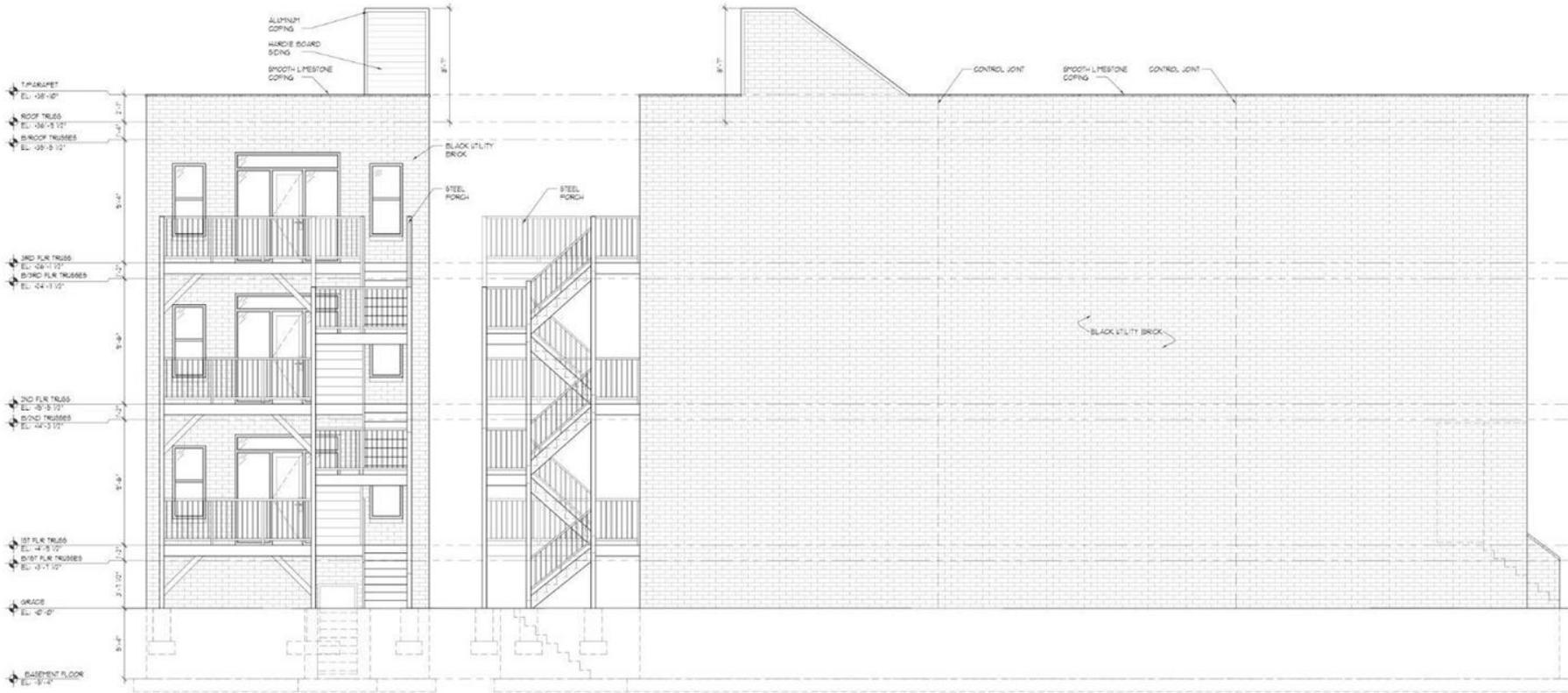
WALL TYPE LEGEND

- ① 0" POURED IN PLACE CONCRETE FOUNDATION WALL.
- ② 6" POURED IN PLACE CONCRETE FOUNDATION UPN TURNING STRIPS AND 1/8" DIRTWALL.
- ③ 8" POURED IN PLACE CONCRETE FOUNDATION FOR EXTERIOR WIND WALL AT FIRST FLOOR.
- ④ 8" CONCRETE FOUNDATION WALL FOR EXTERIOR FRONT STAIR.
- ⑤ NEW EXTERIOR PARTITION WALL UPN 3" FACE BRICK 7" AIR SPACE 8" CPN UPN 7" FURNING AND 3/8" GYP. BO.
- ⑥ NEW 0" CLERED CELL FIBER INSULATION AND NEW 0" CPN UPN 7" FURNING AND 3/8" GYP. BO.
- ⑦ 3" FACE BRICK 7" AIR SPACE 8" CPN 7" AIR SPACE AND 7" FACE BRICK.
- ⑧ 1" CARPET WALL UPN 1/2" FACE BRICK AND 3/4" GYP.
- ⑨ 1" NON-LOAD-BEARING PARTITION WALL UP 3/8" FTS. BRICK 8" AIR SPACE 4" CPN 1" LAYER OF 3/8" FIBER RATED GYP. BO. SIDE.
- ⑩ NEW 0" NON-LOAD-BEARING PLASTER WALL UP 3/8" FTS. STUDS 8" AIR SPACE 1" LAYER OF 3/8" FIBER RATED GYP. BO. SIDE.
- ⑪ EXTERIOR NON-LOAD-BEARING PARTITION WALL UP 3/8" FTS. BRICK 8" AIR SPACE 1" LAYER OF 3/8" FIBER RATED GYP. BO. AT INTERIOR FACE AND FIBER RATED EXTERIOR SIDING.



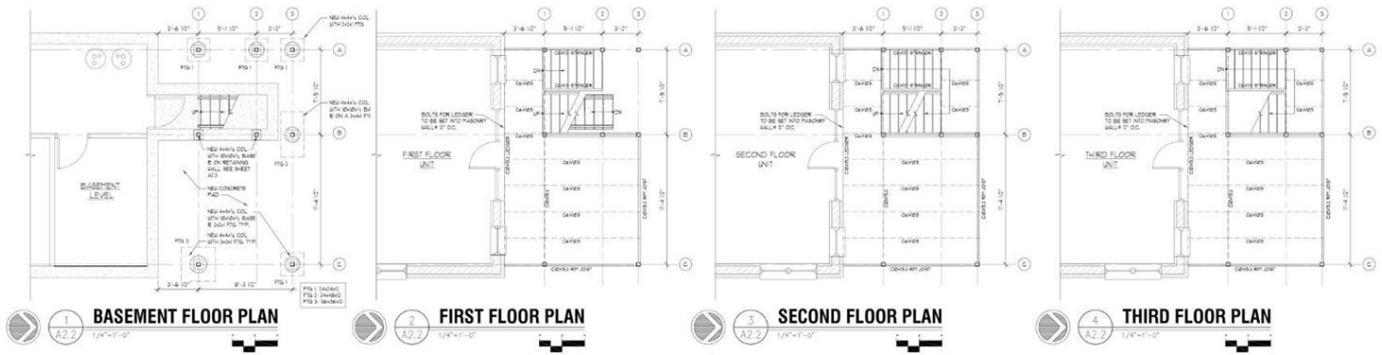
1 SOUTH ELEVATION
A2.0 1/4"=1'-0"

2 EAST ELEVATION
A2.0 1/4"=1'-0"



1 NORTH ELEVATION
A2.1 1/4"=1'-0"

2 WEST ELEVATION
A2.1 1/4"=1'-0"



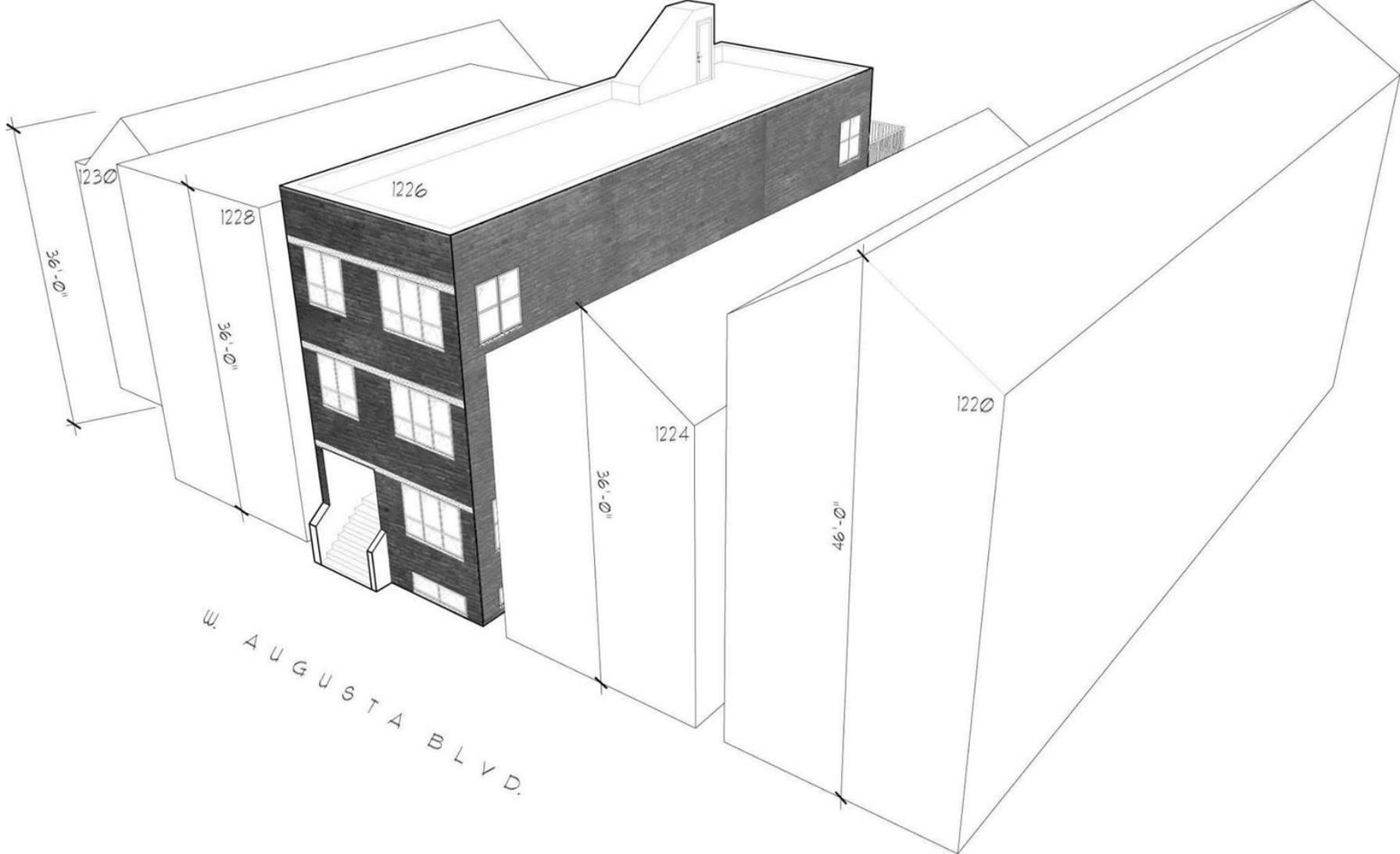


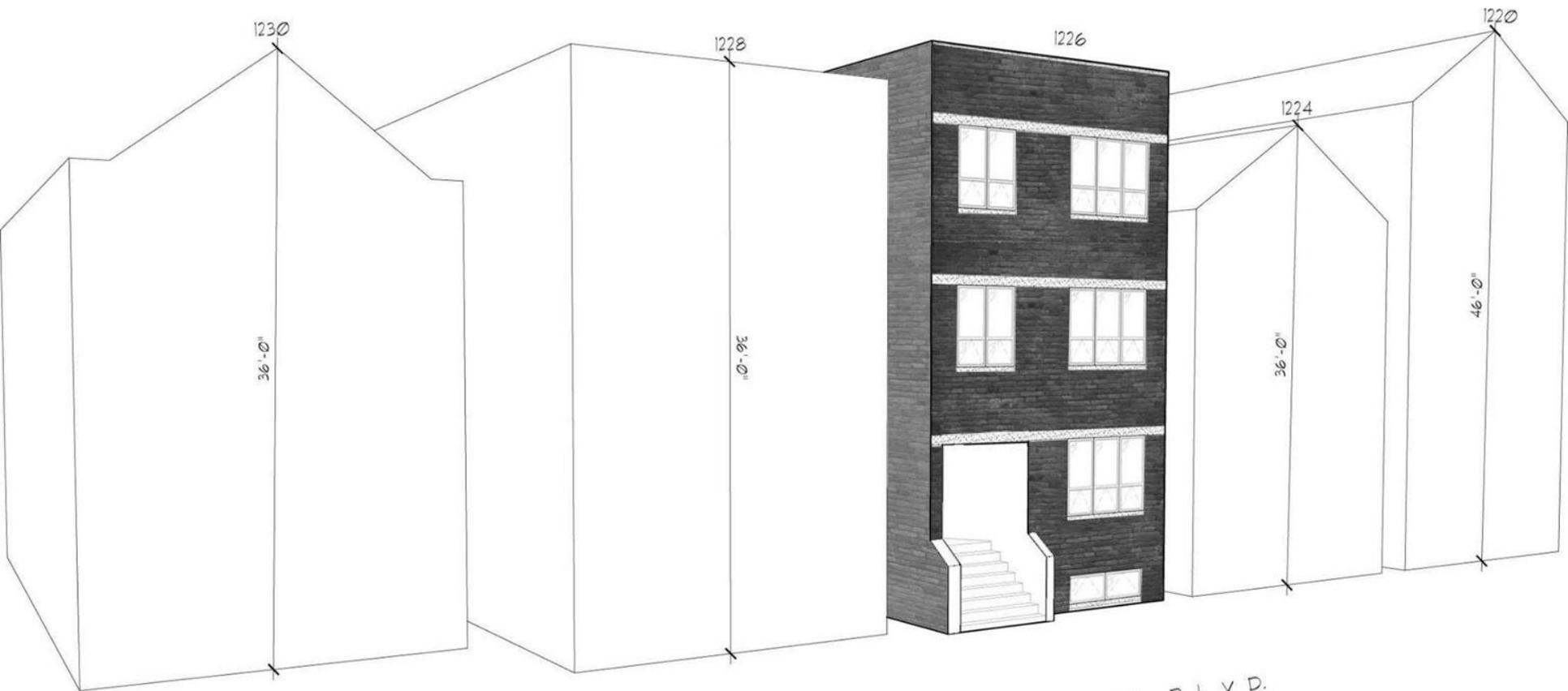
1
A1

NEIGHBORING BUILDING ELEVATIONS

SCALE: 1/8"=1'-0"







W. AUGUSTA BLVD.

SITE AND CONTEXT PHOTOS

